



CITY OF CLEVELAND
Mayor Justin M. Bibb

2025 City of Cleveland

Landmarks Commission

September 11th, 2025

Julie Trott, Commission Chair
Daniel Musson, Secretary





CITY OF CLEVELAND
Mayor Justin M. Bibb

Certificates of Appropriateness

September 11th, 2025



Case 23-054R

Certificate of Appropriateness

Little Italy Historic District

2110 Fairview Avenue

Case previously
approved February 8th,
2024

Revision to Approved Renovation

Project Representatives: David Maddux, Modern Street Homes

Ward 6: Council President Griffin



Kennedy Renovation

2110 Fairview Avenue

Cleveland, Ohio

PROJECT DESCRIPTION

Abbreviated written summary: New two story wood framed residence, located in Cleveland, Ohio

Applicable code: Current RCO one-and two-family and three family dwelling code and the Cleveland, Ohio Zoning code.

Work included: Architectural, structural, mechanical, plumbing, electrical.

The contractor shall provide all labor, materials, tools and equipment, required to complete the work in accordance with the plans, specifications and applicable building codes. All work must be fulfilled in a first class manner at a level higher than accepted industry standards.

The mechanical, plumbing, and electrical work of this contract shall be completed on a design build basis with the installing contractor, meeting all requirements of the applicable buildings codes, whether referenced herein or not.

All contractors and subcontractors for the work of this contract shall be properly licensed and registered in accordance with the regulations of the City of Cleveland, Ohio.

GENERAL PROJECT DATA

All codes govern over drawings.
Codified Ordinances of the City of Cleveland, Ohio.
2019 Residential Code of Ohio
2019 National Electric Code
2019 Ohio Mechanical Code
2019 Ohio Plumbing Code
2019 Energy Code

Use Group Classification:
Residential: Single-Family

Construction Classification:
Wood Frame, Type 5b, Unprotected

GENERAL NOTES

All work to be performed in accordance with applicable national, state & local codes & ordinances.

Each contractor shall verify all dimensions and conditions as they pertain to the acceptable completion of their work.

Written dimensions take precedence over scaled dimensions. Notify Architect of any discrepancies.

When drawings and specifications are at variance with each other, the architect shall rule as to the intent of the documents.

All interior walls are 3-1/2" (u.n.o.)

All materials used in this job shall be of the best quality in their particular field. Materials shall be installed according to manufacturer's directions and recommendations.

All workmanship in this job shall be first quality.

Provide require clearances between wood framing or combustible framing and masonry fireplace per Figure 1001.1 of the 2013 Residential Code of Ohio.

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by The Arcus Group, Inc., The client recognizes that such changes and results thereof are not the responsibility of The Arcus Group, Inc. Therefore, the client agrees to release The Arcus Group, Inc. from any liability arising from the construction, use or result of such changes. In addition, the client agrees, to the fullest extent permitted by law, to indemnify and hold The Arcus Group, Inc. harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) arising from such changes, except only those damages, liabilities and costs arising from the sole negligence or willful misconduct of The Arcus Group, Inc.

Contractor to schedule special inspection for the Soil Bearing Capacity listed on (Foundation Notes) per Section 108.2.10 of the 2013 Residential Code of Ohio.

SITE NOTES

verify all existing & proposed grades prior to construction.

It is the sole responsibility of the General Contractor and Excavator to verify the location of all utility lines prior to excavation. The Architect has not been provided with information about, or is aware, of the location of underground utilities or other buried obstructions.

All excess excavated earth and debris to be removed off site. Contractor shall provide all sediment/erosion control per local regulations.

Anyone doing site work or landscaping is required to have read and must comply with recommendations of the Geotechnical Engineer's Subsurface Investigation Report.

TREE PROTECTION AREAS

Provide tree protection fencing, 2-1/2"x2-1/2" steel posts or approved equal, 10'-0" O.C. max. Use approved snow fence or orange mesh construction fencing material, minimum 4'-0" high.

Install protection fencing to surround existing trees scheduled to remain. Locate protective fencing directly below the drip line of such trees.

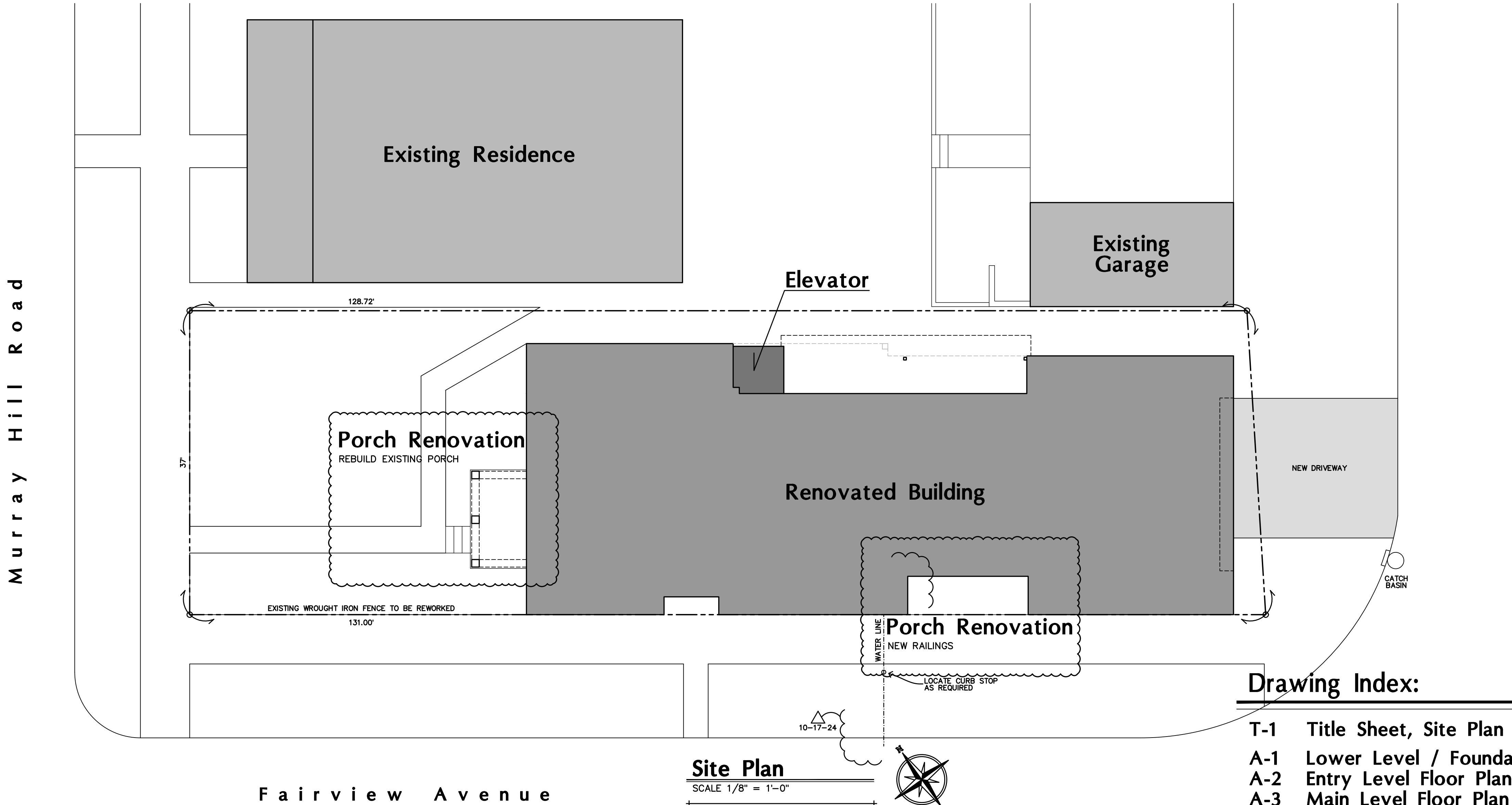
The following must not occur in tree protection areas:

- Stockpiling of soil or other materials.
- Operating or storing construction equipment and vehicles.
- Regrading causing runoff or flooding.
- Parking vehicles.
- Spilling of toxic materials.
- Spraying herbicides.

Interfering branches of trees scheduled to remain may be removed when acceptable to the Architect.

Repair trees scheduled to remain promptly in a manner acceptable to the architect.

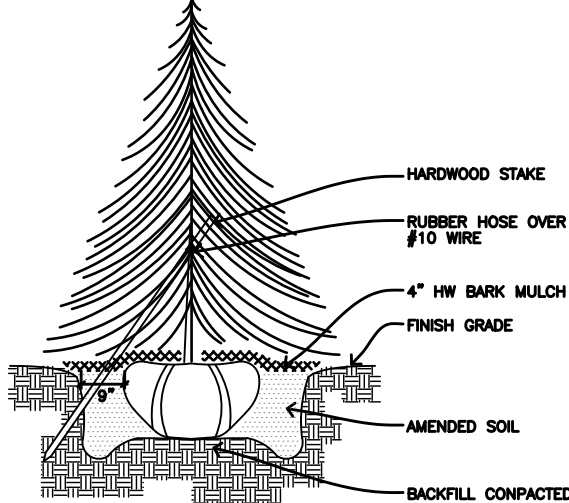
Water existing trees and plants to remain within the limits of construction. Maintain soil around roots in a moist condition.



Drawing Index:

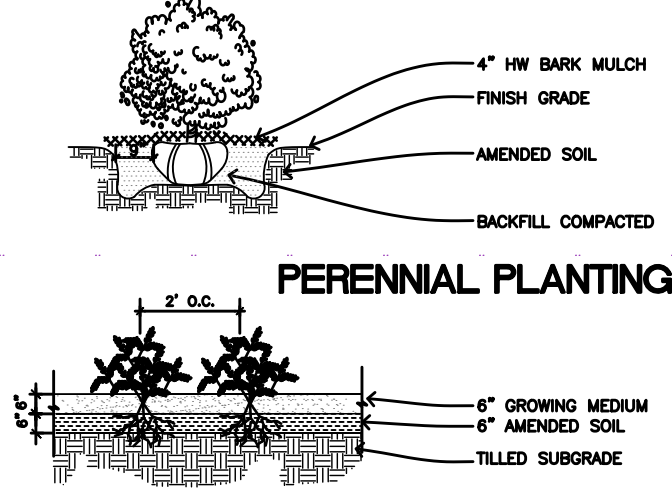
- T-1 Title Sheet, Site Plan & Notes
- A-1 Lower Level / Foundation Plan
- A-2 Entry Level Floor Plan
- A-3 Main Level Floor Plan
- A-4 Upper Level Floor Plan
- A-5 Elevations
- A-6 Elevations
- A-7 Elevations
- A-8 Building Section
- A-9 Building Section
- A-10 Building Section
- A-11 Building Section
- A-12 Architectural Notes & Exterior Renderings
- A-13 Porch Plan & Detail
- A-14 Porch Elevations
- A-15 Porch Renderings
- S-1 Lower Level Framing Plan
- S-2 Entry Level Framing Plan
- S-3 Main Level Framing Plan
- S-4 Upper Level Framing Plan
- S-5 Structural Notes & Details
- S-6 Structural Notes & Details

EVERGREEN PLANTING DETAIL

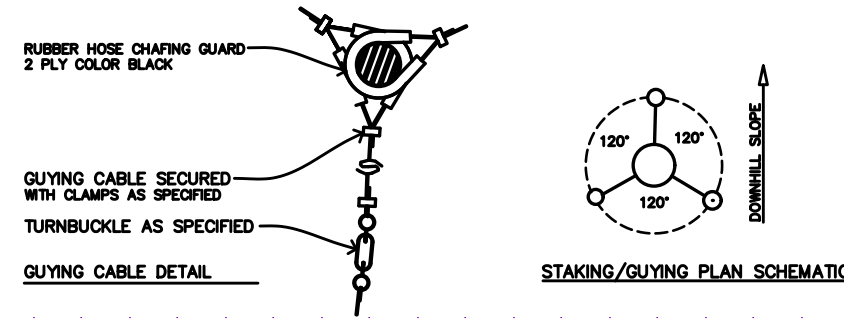


- NOTES
1. Top of root ball to be 2"-3" above adjacent finish grade.
 2. Remove rope and burlap from top 1/3 of root ball. Remove all nylon rope, coverings, labels, tags, or other foreign materials from limbs.
 3. Stake support shall be located so the top of the stake faces into the prevailing wind.

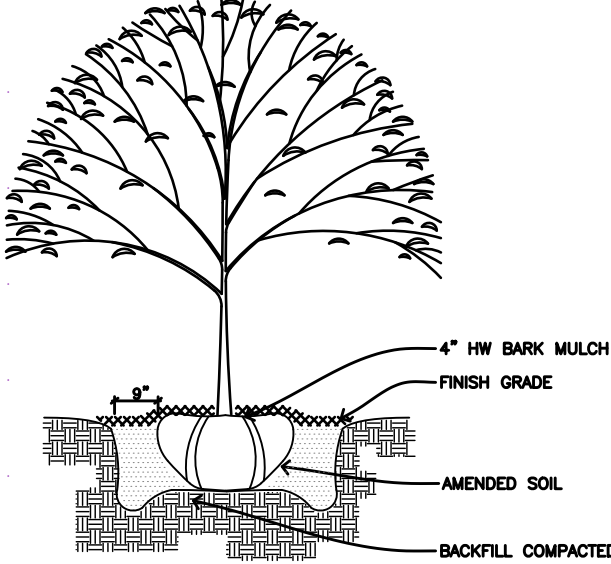
SHRUB PLANTING



TREE STAKING AND GUYING

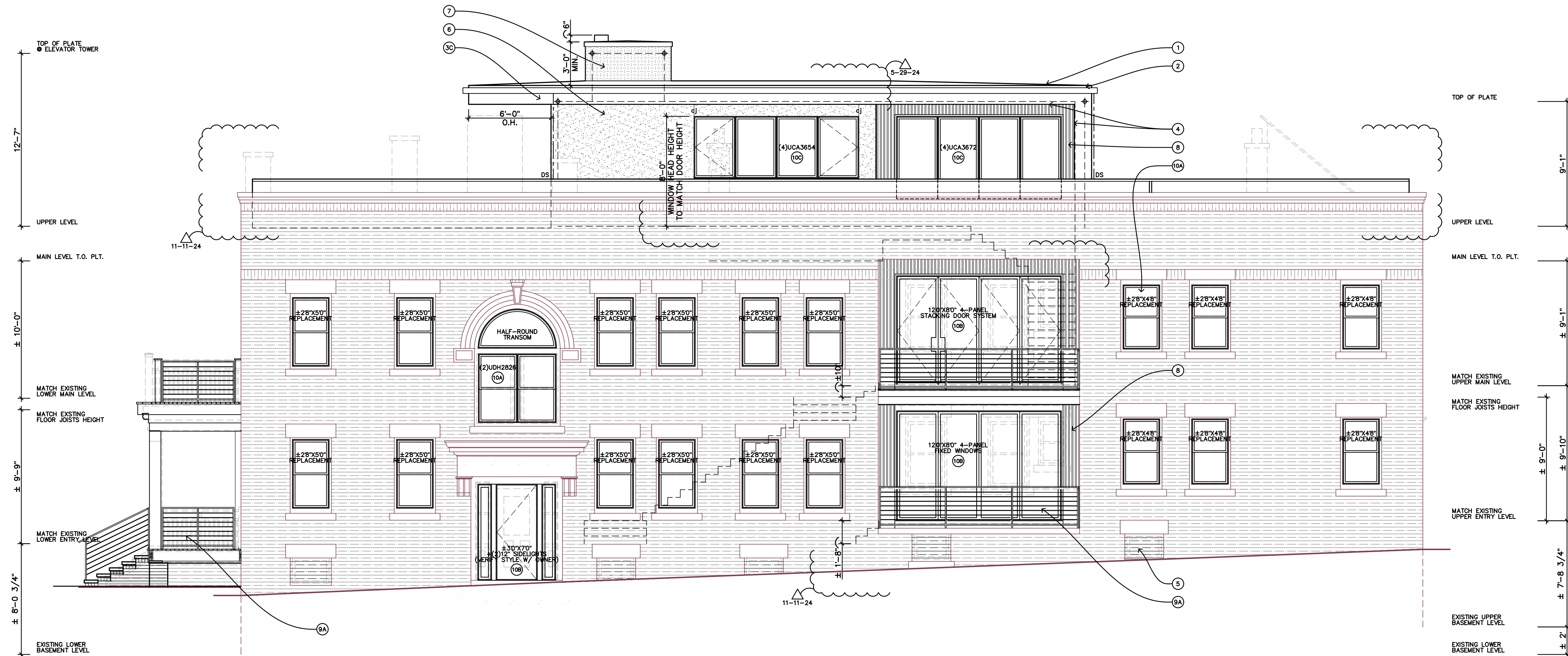


ORNAMENTAL TREE PLANTING



- NOTES
1. Top of root ball to be 2"-3" above adjacent finish grade.
 2. Remove rope and burlap from top 1/3 of root ball. Remove all nylon rope, coverings, labels, tags, or other foreign materials from limbs.

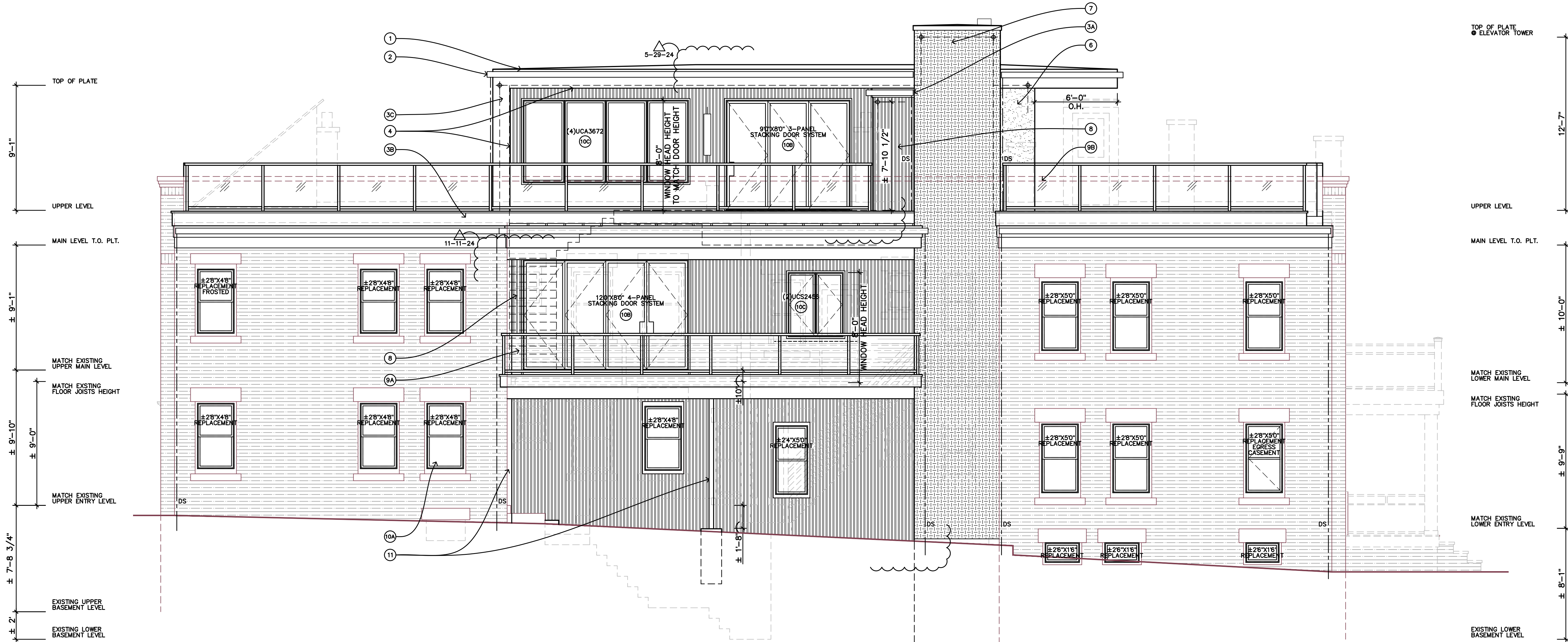
1	ROOFING	BLACK EPDM RUBBER ROOFING MEMBRANE MANUFACTURER: FIRESTONE OR EQUAL	5	FACE BRICK	MATCH EXISTING PATCH & REPAIR AS NECESSARY	10A	REPLACEMENT DOORS & WINDOWS	MANUFACTURER: KOLBE WINDOWS & DOORS SERIES: ULTRA SERIES INTERIOR FINISH: TO BE DETERMINED EXTERIOR FINISH: KAHKI WINDOW MANUFACTURER/SUPPLIER TO VERIFY ALL WINDOW EGRESS & SAFETY GLASS REQUIREMENTS. ALTERNATE: MARVIN ULTIMATE SERIES
2	GUTTERS & DOWNSPOUTS	24 GA BOX GUTTER SYSTEM KVAH COLOR: KAHKI (TO MATCH REPLACEMENT WINDOWS) W/ 3"x4" DOWNSPOUTS	6	STUCCO	CEMENT STUCCO ON METAL LATHE (PAINTED) COLOR: KAHKI (TO MATCH REPLACEMENT WINDOWS) VERIFY LOCATION OF CONTROL JOINTS			
3A	TRIM	BORAL TRIM (OR APPROVED EQUAL) PAINT: MATTIE BLACK ALTERNATE: PRE-FINISHED ALUMINUM TRIM	7	METAL PANELS	MANUFACTURER: LONGBOARD ARCHITECTURAL PRODUCTS PRODUCT: PANELBOARD CLADDING SYSTEM COLOR: NATURALLY AGED METAL - GOLDEN GATE	10B	STEEL DOORS & WINDOWS	MANUFACTURER: BROMBAL INTERIOR FINISH: TO BE DETERMINED EXTERIOR FINISH: TO MATCH KOLBE TRUFFLE WINDOW MANUFACTURER/SUPPLIER TO VERIFY ALL WINDOW EGRESS & SAFETY GLASS REQUIREMENTS.
3B	TRIM	BORAL TRIM (OR APPROVED EQUAL) PAINT: KAHKI (TO MATCH REPLACEMENT WINDOWS) ALTERNATE: PRE-FINISHED ALUMINUM TRIM	8	SIDING	MANUFACTURER: NEW TECH WOOD PRODUCT: BELGIAN BOARD VERTICAL EUROPEAN STYLE SIDING COLOR: HAWAIIAN CHARCOAL (CH)	10C	DOORS & WINDOWS	MANUFACTURER: KOLBE WINDOWS & DOORS SERIES: ULTRA SERIES INTERIOR FINISH: TO BE DETERMINED EXTERIOR FINISH: TRUFFLE WINDOW MANUFACTURER/SUPPLIER TO VERIFY ALL WINDOW EGRESS & SAFETY GLASS REQUIREMENTS. ALTERNATE: MARVIN ULTIMATE SERIES
3C	TRIM	TRICOYA TRIM 18mm THICK (OR APPROVED EQUAL) PAINT: MATTIE BLACK	9A	METAL RAIL	POWDER COATED STAINLESS STEEL 1X3 SUPPORTS & HANDRAIL W/ 3/8" HORIZONTAL STEEL BARS @ 4" O.C. COLOR: MATTIE BLACK			
4	SOFFIT	MANUFACTURER: NEW TECH WOOD PRODUCT: ULTRASHIELD COLOR: PERUVIAN TEAK (TK)	9B	GLASS RAIL	MANUFACTURER: VIEWRAIL PRODUCT: GLASS RAILING SYSTEM COLOR: MATTIE BLACK	11	STRUCTURAL STEEL	POWDER COATED STRUCTURAL STEEL DARK BRONZE COATED, FINISH WELDING & CONNECTION LOCATIONS AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS.



SCALE 1/4" = 1'-0"

Exterior Finish Schedule

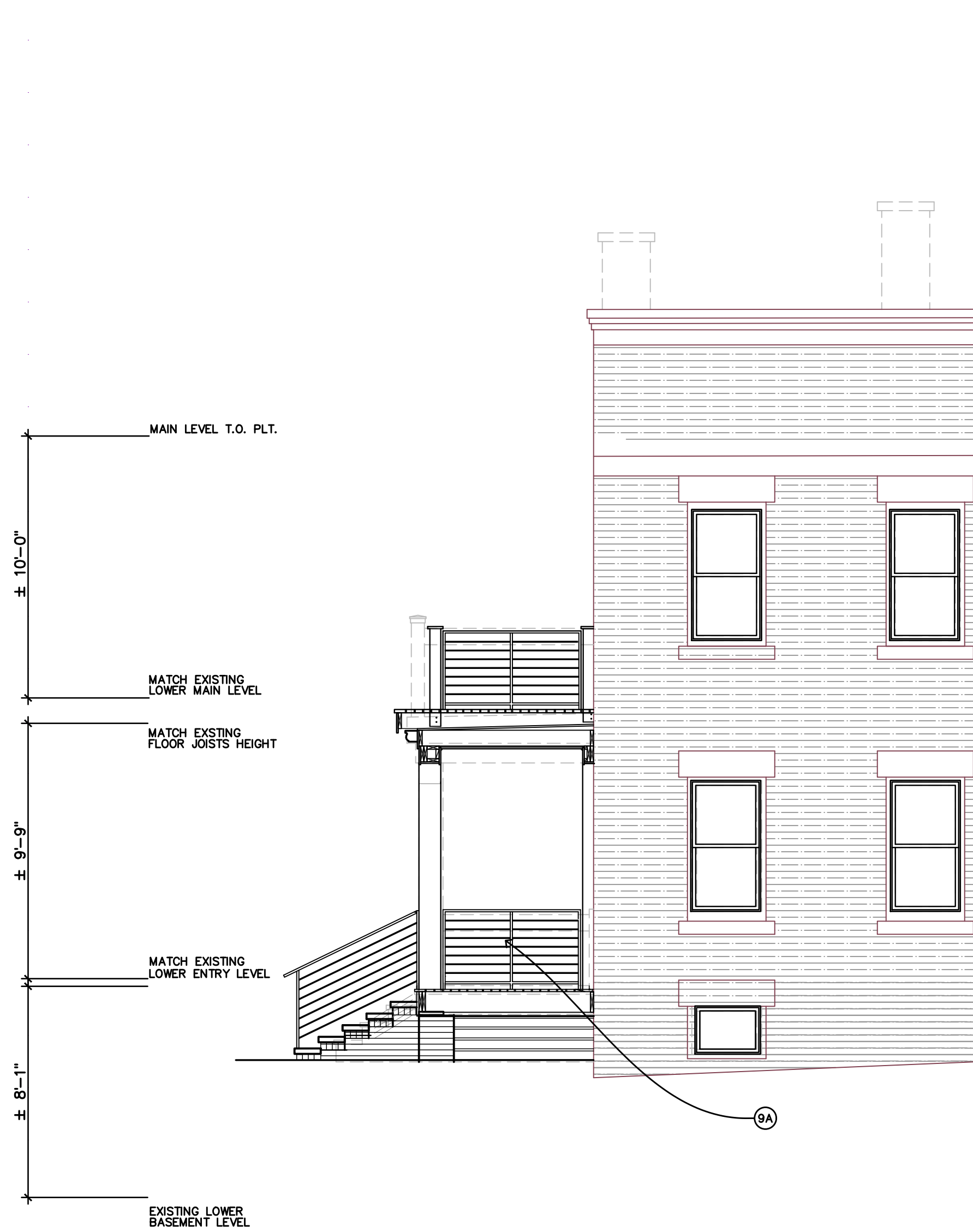
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Rear Elevation (North)

SCALE 1/4" = 1'-0"

Elevations	Kennedy Renovation	2110 Fairview Avenue Cleveland	Ohio	ISSUE:
				5-21-24 CONSTRUCTION (REVISED)
				5-29-24 REVISION
				11-11-24 REVISION
A-7	PROJECT NO: 23-13A	DRAWN BY: BCK	CHECKED BY: DTM	7-1-25 PORCH RAILING REVISION
				11-11-24 REVISION
				5-29-24 REVISION
				5-21-24 CONSTRUCTION (REVISED)
14394 Detroit Avenue Lakewood, OH 44107 216.780.2741				



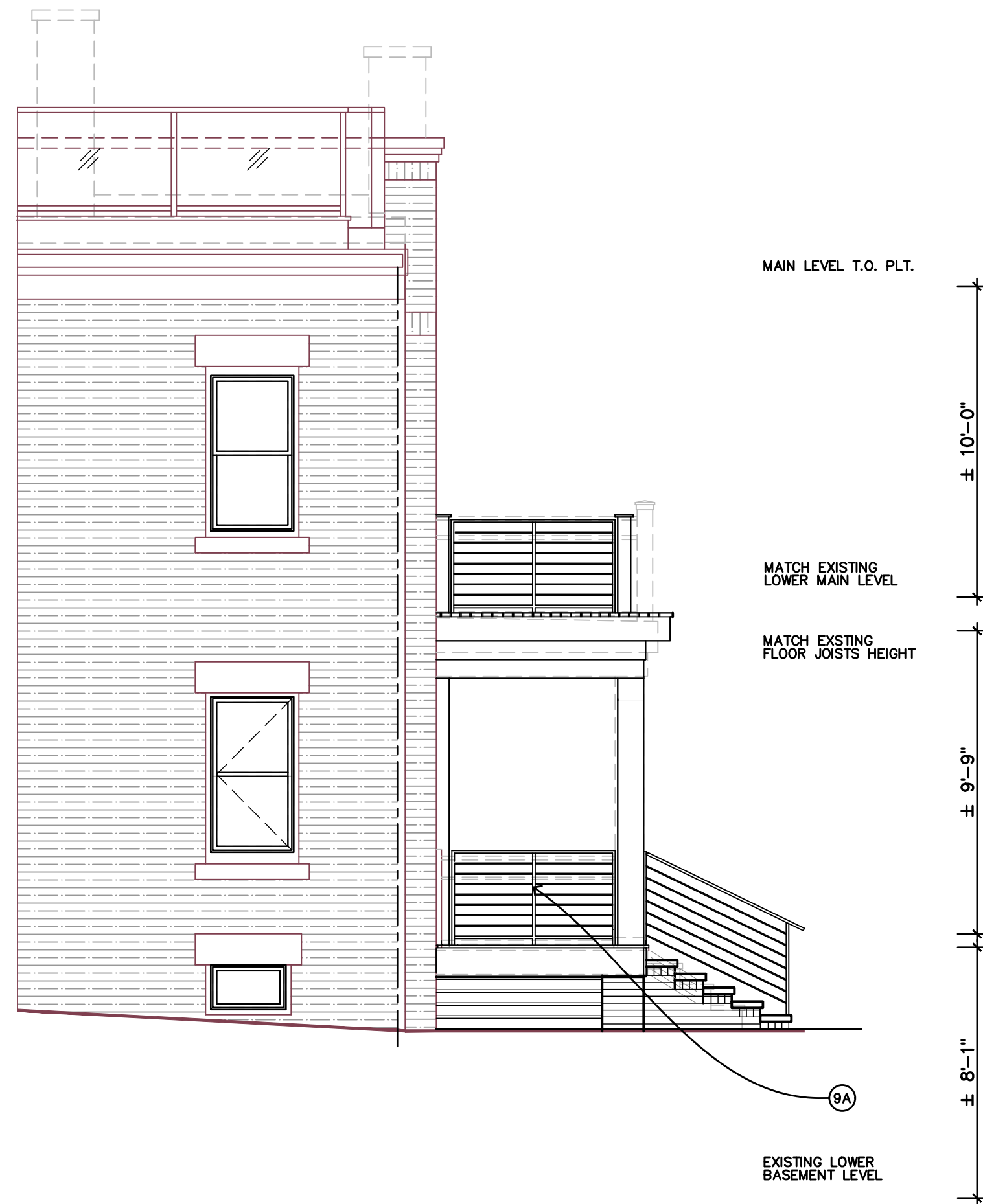
Porch Elevation (South)

SCALE 1/4" = 1'-0"



Porch Elevation (West)

SCALE 1/4" = 1'-0"



Porch Elevation (North)

SCALE 1/4" = 1'-0"

Kennedy Renovation		2110 Fairview Avenue Cleveland		Ohio	
Porch Elevations		14394 Detroit Avenue Lakewood, OH 44107 216.780.2741		A-14	
PROJECT NO:		23-13A		COPYRIGHT © 2024	
DRAWN BY:		BCK		PROJECT NO:	
CHECKED BY:		DTM		DRAWN BY:	
ISSUE:		3-24-25 REVISION		7-1-25 PORCH RAILINGS REVISION	



Case 25-069

Certificate of Appropriateness

Gordon Square Historic District

Murals Across the City 5428 Detroit Avenue

Mural

**Project Representatives: Courtni Vargo, Destination Cleveland
Ward 15: Councilmember Spencer**



DESTINATION
Cleveland[®]

Murals Across the City

Previous Works



Process

- 1.) Release Call for Artists
- 2.) Evaluate Applications based on Artist Portfolios
- 3.) Select Artists for Design Proposals
- 4.) Artists Provide a Design—using a Destination Cleveland Brand Phrase
- 5.) Identify Potential Walls and Negotiate with Building Owners
- 6.) Match Designs with Buildings based on Owner Input
- 7.) Artists Adjust Designs based on building dimensions
- 8.) Share with Key Stakeholders
- 9.) City Permits and Entitlements
- 10.) Installation

Location –5428 Detroit Ave, Cleveland, OH 44102



Context – Facing East



Context – facing South



Context – facing North



Context – Facing West



Materials

- Heat-applied vinyl
- Large-format digital print
- Repair / Remove by re-heating



Example: 2217 East 9th Street

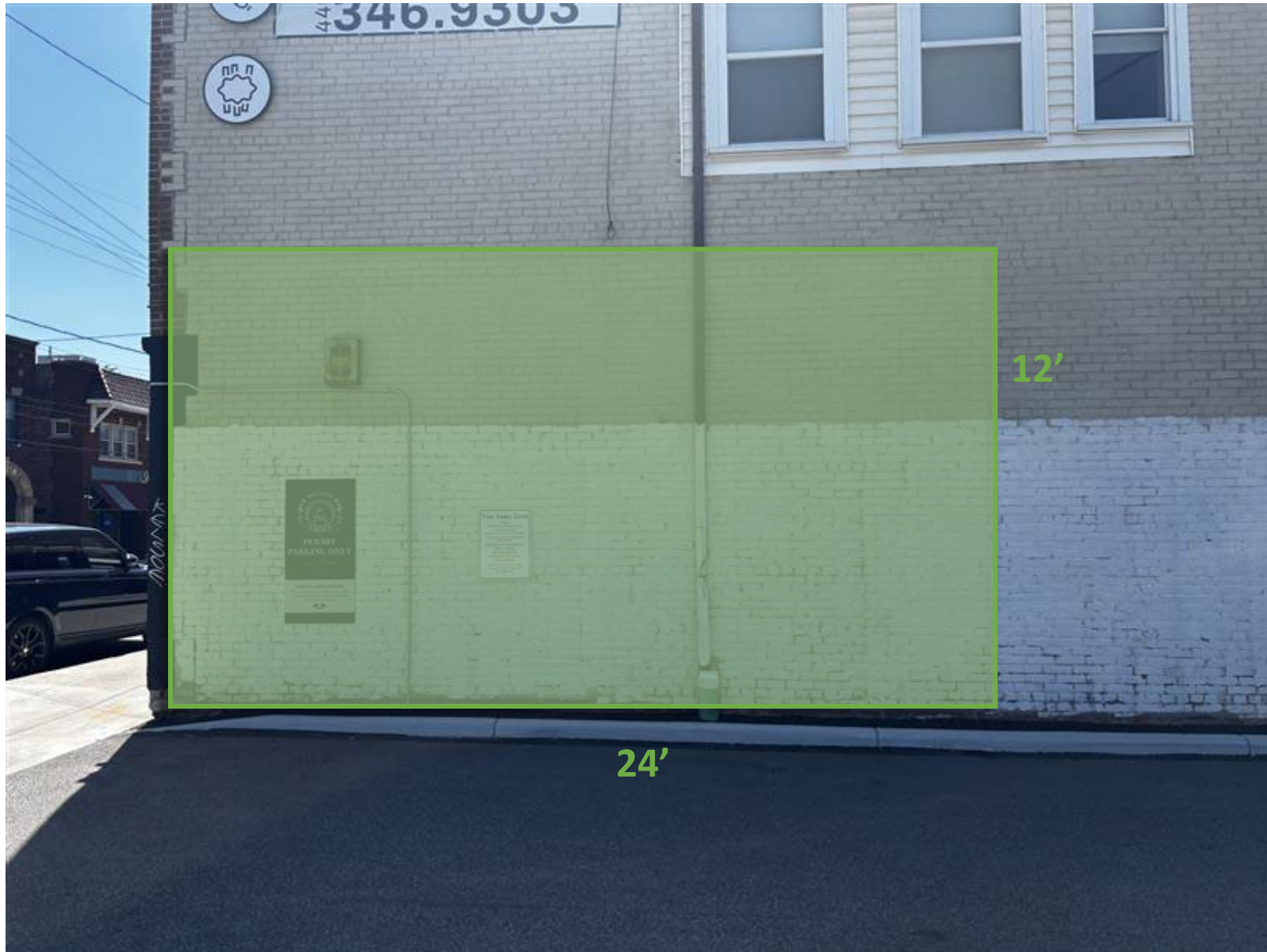


Process Photo: West 2nd Alley

Facade



Façade



Design



Facade



Case 25-070

Certificate of Appropriateness

Lorain Avenue Historic District

Partnership for Good Health 5600 Lorain Avenue

Mural

Project Representatives: Stina Aleah, Artist; Sara Doran, Partnership for Good Health

Ward 15: Councilmember Spencer



PARTNERSHIP FOR GOOD HEALTH MURAL PRESENTATION

Presented By : Stina Aleah & Sara Doran

5600 Lorain Ave

INTRODUCTION

This mural for Partnership for Good Health is designed to be a vibrant and welcoming symbol for the community. The artwork features diverse figures in silhouette form, surrounded by bright colors and dynamic shapes that reflect energy, inclusivity, and hope. At its center, the word “Welcome” is displayed in the main languages spoken by community members, ensuring that everyone feels seen and embraced. Just as the organization helps non-English speaking individuals navigate the health system and receive proper care, the mural serves as a visual invitation that celebrates diversity, unity, and belonging.

CONTEXTUAL WALL VIEWS



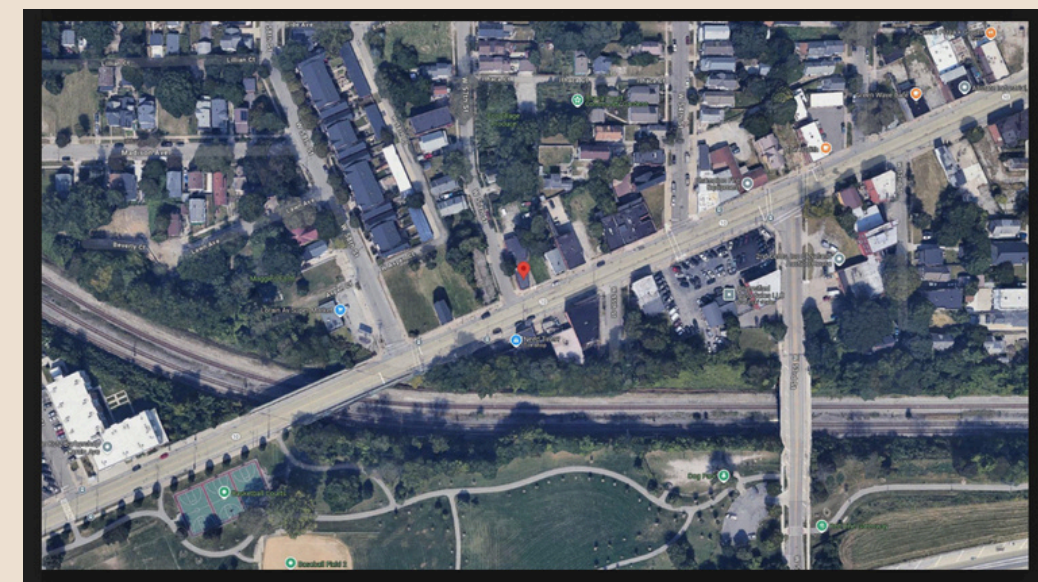
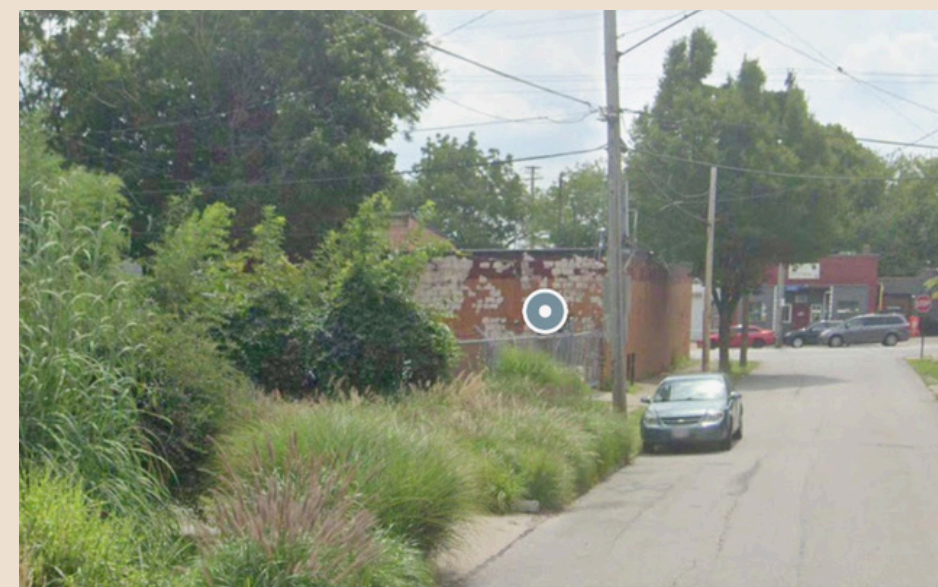
Mural 1



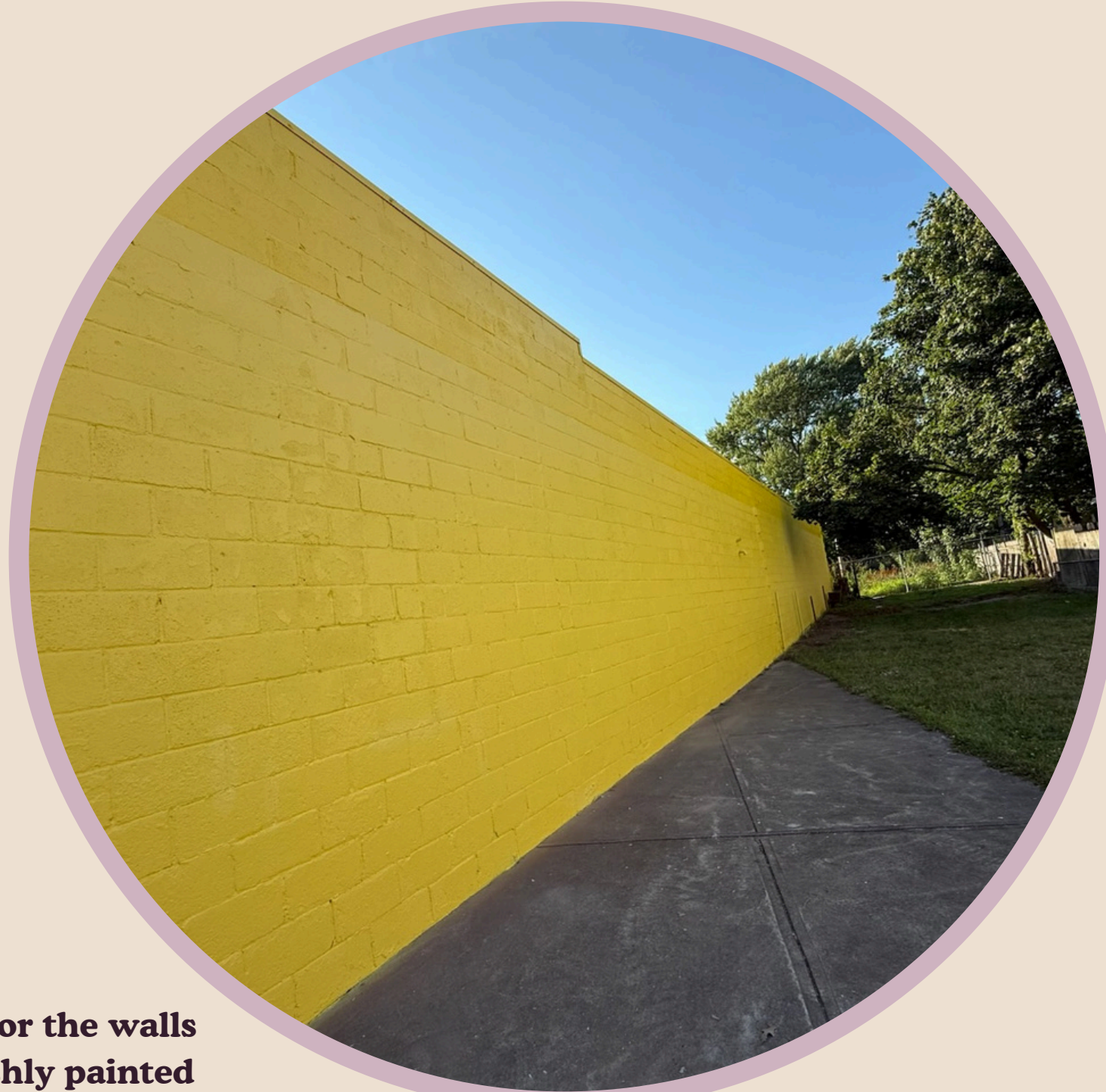
Mural 2

5600 Lorain Ave

STREET WALL VIEWS



UPDATED WALL VIEW



We seek approval for the walls located on the freshly painted building, located at 5600 Lorain Ave.

The building is currently undergoing renovations.

MURAL SUPPLY LIST

- **Behr Premium Exterior Paint** (variety of bright colors for figures, shapes, and background)
- **Exterior wall primer/sealer** (to ensure paint adhesion and durability)
- **Anti-Graffiti Coating** (protective sealant to preserve and safeguard the mural)
- **High-quality brushes and rollers** (various sizes for detail work and large coverage)
- **Paint trays and liners**
- **Painter's tape** (for clean edges and shape definition)
- **Drop cloths** (to protect surrounding areas)
- **Chalk or charcoal** for sketching layout and guidelines
- **Measuring tape, levels, and string line** (for accurate proportions and alignment)
- **Extension poles and step ladders** (for higher wall sections)
- **Buckets of water and rags** (for cleanup and corrections)
- **Protective gear** (gloves, masks, and safety glasses)

MURAL MAINTENANCE PLAN

The mural will be protected with a professional-grade anti-graffiti coating, ensuring long-term preservation of color and design. Routine maintenance will include periodic visual inspections (every 6–12 months) to assess for weathering, fading, or surface damage. If graffiti or dirt accumulates, the protective coating allows for safe cleaning with mild soap and water or specialized removal solutions without harming the artwork. Should any paint touch-ups be required, matching Behr Premium Exterior Paint will be stored for consistent restoration. This plan ensures the mural remains vibrant, welcoming, and reflective of the community for years to come.

RECENTLY APPROVED



5600 Lorain Ave

RECENTLY APPROVED



5600 Lorain Ave

LETTER OF PERMISSION

Property Owner Certification and Permission for Mural

Date: 8/28/2025

To Whom It May Concern:

I, Sara Doran, certify that the property is legally owned and is located at 5600 Lorain Avenue. I am the sole owner of Swedryk Collective, an LLC which owns the property.

The proposed mural project by Stina Aleah, based on the design submitted with the application, has been reviewed and understood. The nature and location of the proposed artwork are also understood.

By signing below, permission is granted for the mural's placement on the west-facing wall of the property, as presented in the mural application. All requirements, laws, and ordinances of the City of Cleveland and Cuyahoga County relating to murals will be followed.

It is further agreed that Swedryk Collective will maintain and repair the mural to ensure its integrity.

Property Owner Name (Printed): Sara Doran

Property Owner Signature: 

Date: 08/28/2025

Sara Doran

Owner

Swedryk Collective

5600 Lorain Avenue

Cleveland, Ohio 44102

5600 Lorain Ave

MURAL MOCK UP DESIGN



RENDERED ARTWOK



Approximately 12' H x 72'W

5600 Lorain Ave

MURAL MOCK UP DESIGN



RENDERED ARTWOK



Appoximately 12' H x 25'W

5600 Lorain Ave

IMPLEMENTATION

● Phase 1

The process begins with a collaborative design phase where the mural concept is refined to align with the mission of Partnership for Good Health. This stage includes developing sketches, selecting a cohesive color palette, and incorporating translated “welcome” text in the primary community languages for review and approval.

● Phase 2

Prior to painting, the designated wall surface will be cleaned, primed, and measured to ensure durability and precision. All necessary supplies, including professional-grade paints, protective coatings, and tools, will be sourced to meet project standards and long-term maintenance needs.

● Phase 3

The mural will be executed in carefully planned stages, beginning with background gradients and shapes, followed by the layering of diverse silhouette figures and cultural design elements. This step ensures the artwork is both visually impactful and representative of the inclusive message at the core of the project.

● Phase 4

Upon completion, a protective sealant will be applied to safeguard the mural against weathering and ensure longevity. The final step includes a formal reveal, presenting the mural as a permanent and welcoming landmark that reinforces the organization’s commitment to diversity, health, and community unity.

THANK YOU!

Thank you for your time and consideration of this project. I am grateful for the opportunity to contribute another vibrant, welcoming mural that reflects the diversity and unity of our community.



Case 25-071

Certificate of Appropriateness

Market Square Historic District

2074 West 25th Street

Signage

**Project Representatives: Taylor Hannah, L3 Sign & Design; Mikaela Faiello,
216 Lagree**

Ward 3: Councilmember McCormack



August 2025

Presented by:

Mikaela Faiello (Owner, 216 Lagree)

Taylor Hannah (Sign Contractor, L3 Sign & Image)

Window Signage Presentation

Application requesting Certificate of Appropriateness to allow for window coverage
variance

Address: 2074 W 25 St

PPN: 00710018

Zoning: LR-C4 / Landmarks District

Overview

- Application previously presented at Design Review- included one blade sign and vinyl window graphics
- Blade sign approved
- Vinyl graphics were presented to go on outside of windows, with frosted vinyl applied on inside (sign company perform graphics install, owner perform frosted install)
- Vinyl graphics conditionally approved to be installed in white if frosted vinyl was omitted due to code issues.
- Current application seeks approval to exceed window coverage limitations, and allow for frosted vinyl + window graphics.

Code Involved: 350.121 Window Sign Coverage Limitation

INTRO

MAPS

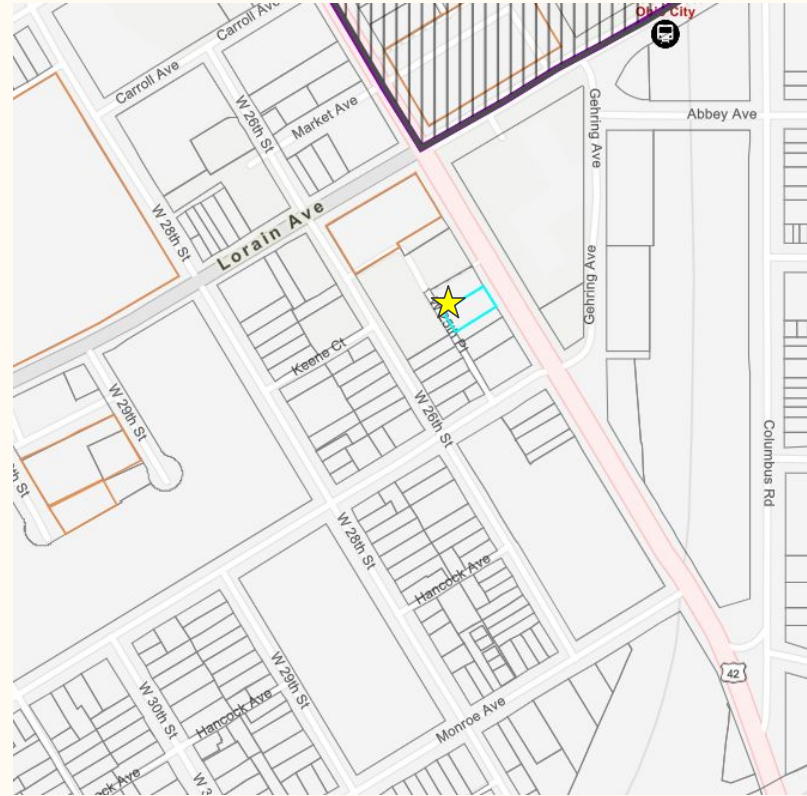
CONTEXT

CONDITIONS

RENDERINGS

CONCLUSION

I. Maps



Yellow star represents site location

Neighboring Properties & Businesses

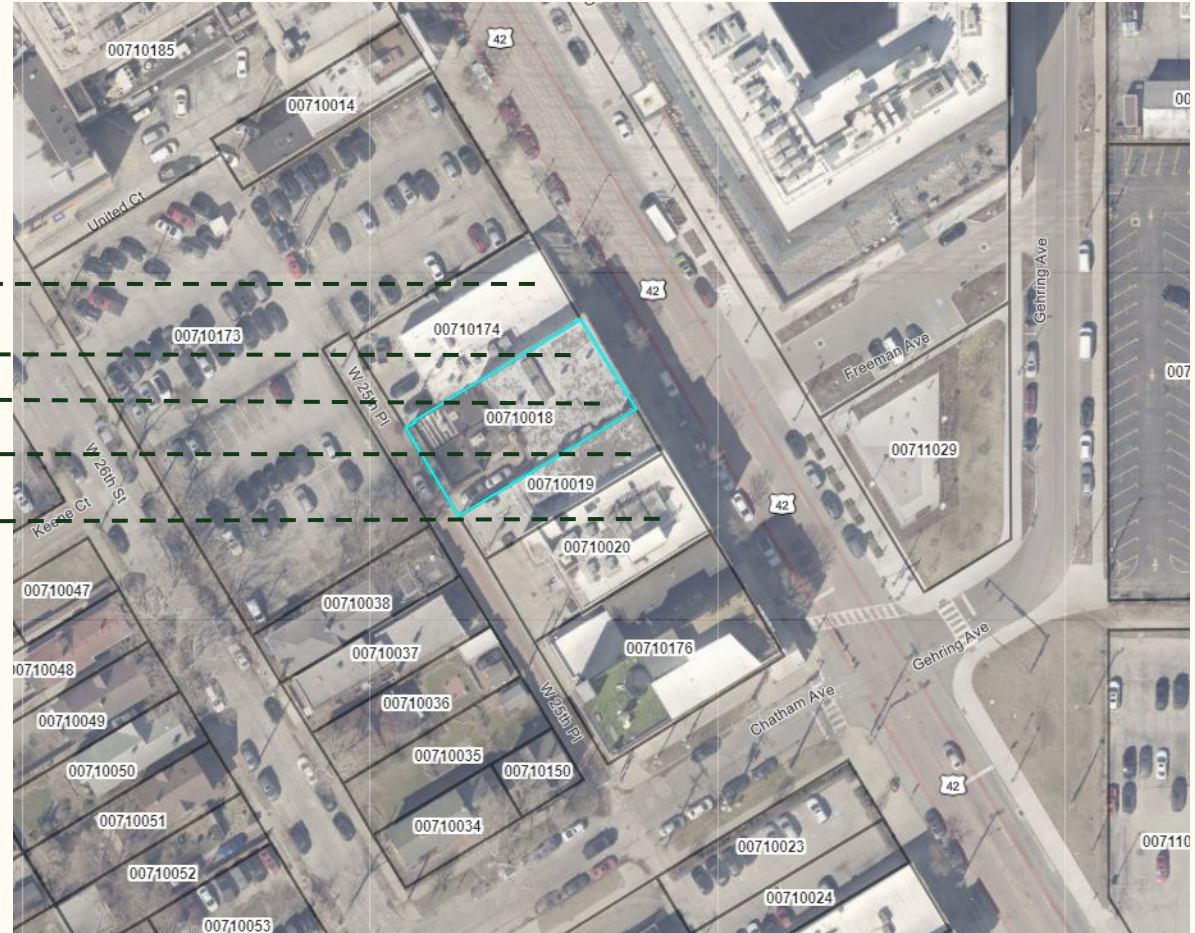
AVO Modern Mexican

Xhibition

216 Logree

Citizens

The Victor



INTRO

MAPS

CONTEXT

CONDITIONS

RENDERINGS

CONCLUSION

II. Context

(A) 216 Lagree's space neighboring Xhibition, Citizens Bank, and AVO



(B) Street view of surrounding area



216 Lagree



(C) Building Across the Street



- 216 Lagree is located in a densely populated area; surrounded by retail shops, bars, restaurants, apartments, and the West Side Market. There is heavy foot traffic at all times of day as a result.
- As a workout studio, it is important that 216 Lagree provides a secure and comfortable environment for guests, which is made challenging by the floor-to-ceiling windows.
- Without frosted window coverage, those working out are on view for anyone walking down West 25th.



(C) 216 Lagree's windows

III. Existing Conditions



Current windows with completed frosted vinyl for privacy.
Vinyl also avoids sacrificing natural light

INTRO

MAP

CONTEXT

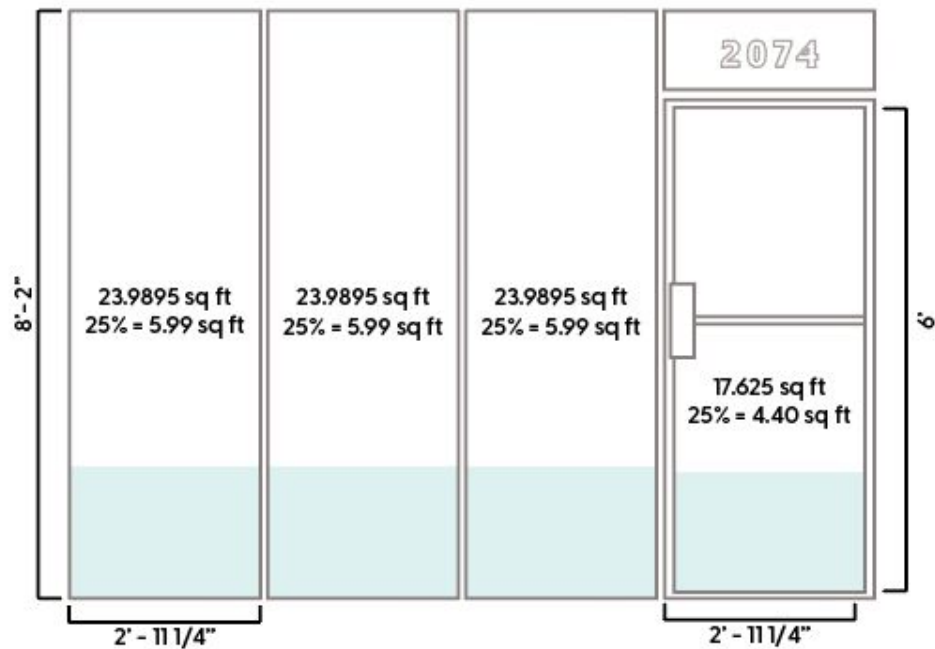
CONDITIONS

RENDERINGS

CONCLUSION

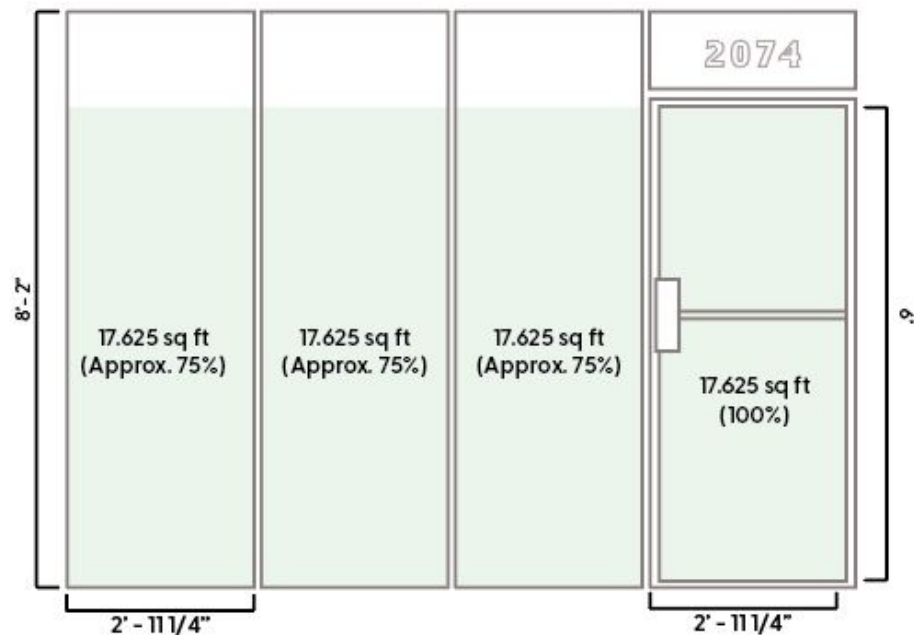
IV. Renderings

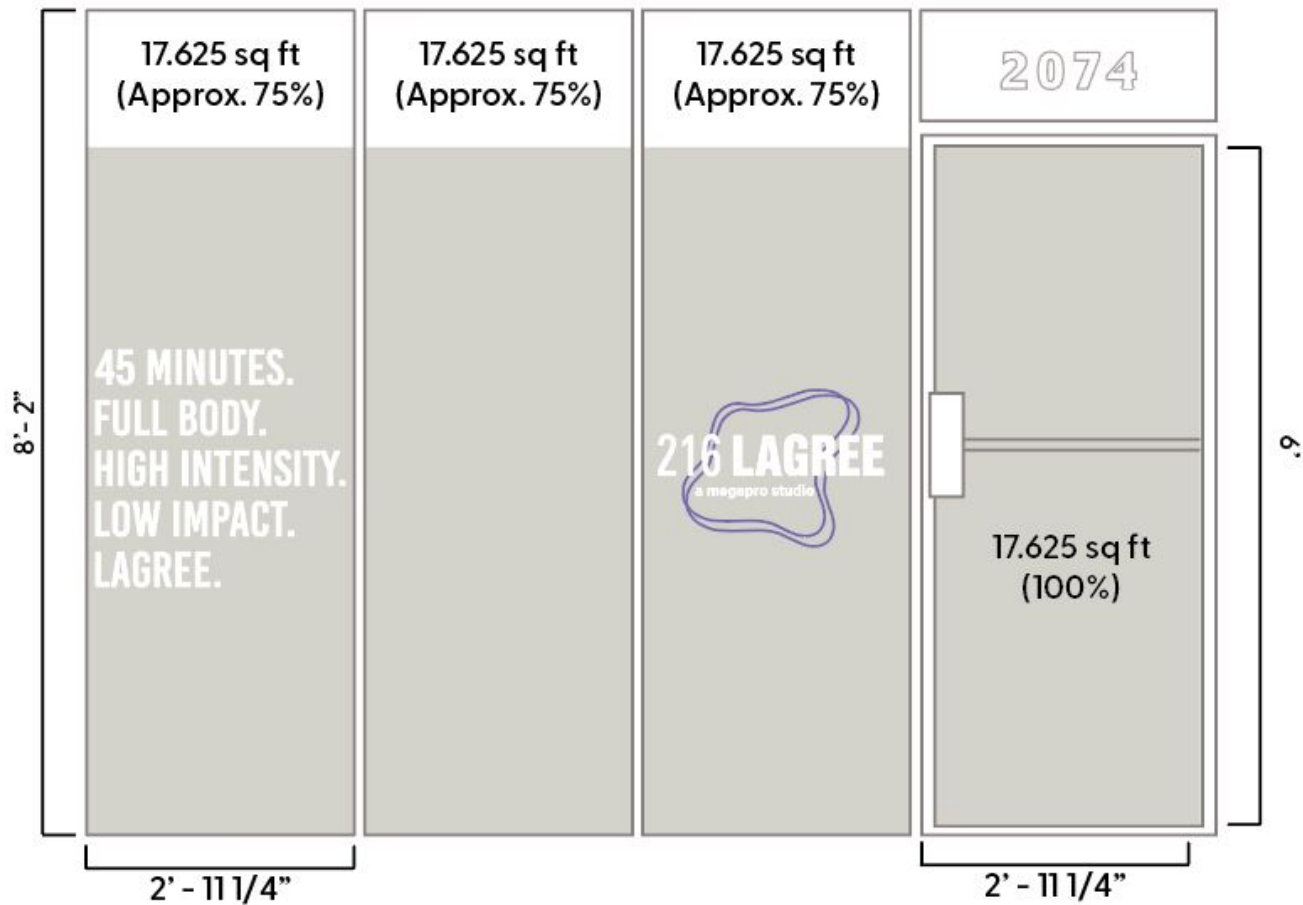
A. Window Coverage Allowed
Under Section 350.121





Window Coverage Requested





Proposed window coverage

V. Concluding Thoughts

Case 25-038

Certificate of Appropriateness

Franklin-West Clinton Historic District

**Schematic Review
completed June 12th,
2025**

6107 Ellen Avenue

New Construction

Project Representatives: Greydon Petznick, Cleveland DRAW; James Todt,
Owner

Ward 15: Councilmember Spencer



6107 ELLEN AVE
CLEVELAND, OHIO

ELLEN AVENUE SMALL PROTOTYPE HOUSING

Issued for REVIEW 2

PPN: 002-30-064

PREPARED FOR:
OWNER:

STACIE WATKINS & JIM TODT
7435 MIDLAND RD.
INDEPENDENCE, OH 44131
JTODT0193@GMAIL.COM
216.469.0504

PREPARED BY:
ARCHITECT:

CLEVELAND DRAW
3342 AVALON ROAD
SHAKER HEIGHTS, OHIO 44120
T: 216.548.5335

GREYDON PETZNICK, RA
GREYDON@CLEVELANDDRAW.COM
MATT PLECNIK, RA
MATT@CLEVELANDDRAW.COM

STRUCTURAL ENGINEER:

MAKARICH STRUCTURAL ENGINEERING, LLC
P.O. BOX 1389
WILLOUGHBY, OHIO 44096
T: 440.283.7252



SYMBOL LEGEND:

EARTH

POROUS FILL

CONCRETE

CONCRETE / MASONRY

BRICK / MASONRY

GYPSUM WALLBOARD

RIGID INSULATION

BATT INSULATION

WOOD: SOLID SECTION

WOOD: BLOCKING

WOOD: BLOCKING (CUT)

WOOD: PLYWOOD

EXISTING DOOR SYMBOL

PROPOSED NEW DOOR SYMBOL

NAME OR AREA ROOM#

###

X

FINISH TYP.

X

X

X

1
4A#-##
3

X

A#-##

X

A#-##

X

XX-XX

FLOOR LEVEL
ELEV = +0'-0"

TYPICAL DESIGNATION TAGS

ROOM NAME & ROOM NUMBER

DOOR TYPE DESIGNATION

WALL TYPE DESIGNATION

FINISH DESIGNATION

FIXTURE TYPE DESIGNATION

KEY NOTE DESIGNATION

PROPOSED NEW COLUMN LINE

EXISTING COLUMN LINE

SHEET DESIGNATION

ELEVATION DESIGNATION

ELEVATION DESIGNATION

SHEET DESIGNATION

SECTION DESIGNATION

SHEET DESIGNATION

SHEET DESIGNATION

ELEVATION DESIGNATION

FLOOR DESIGNATION

ELEV. HEIGHT DESIGNATION

REVISION CLOUD & DESIG.

REVISION CLOUD & REV. DESIGNATION

PROJECT SCOPE & DATA:

BUILDING INFO:

ADDRESS

PPN:

LOT AREA:

LAND USE:

PROPOSED BUILDING USE:

CONSTRUCTION TYPE:

ZONING:

AREAS:

FIRST FLOOR

SECOND FLOOR

TOTAL

COVERED PORCHES

THIS PROJECT WILL ADHERE TO THE REQUIREMENTS OF THE OHIO RESIDENTIAL CODE, 2019 EDITION.

BUILDING SETBACKS:

FRONT YARD SETBACK:

REAR YARD SETBACK:

SIDEYARD SETBACK AND FIRE SEPARATION DISTANCE(NORTH):

PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE OR FIREBLOCKING REQUIRED. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'. REFERENCE A1-01

SIDEYARD PROJECTION SETBACK AND FIRE SEPARATION DISTANCE (NORTH):

PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE OR FIREBLOCKING REQUIRED. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.

SIDEYARD OPENINGS IN WALLS (NORTH)

MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS

SIDEYARD SETBACK (SOUTH):

SIDEYARD FIRE SEPARATION DISTANCE (SOUTH):

SIDEYARD PROJECTION SETBACK (SOUTH):

HEIGHT:

AREA:

1. HOUSE-LOT AREA VARIANCE REQUIRED (1675 SF HOUSE MORE THAN 50% LOT AREA)

2. REAR YARD VARIANCE REQUIRED 23'-0" SETBACK < BUILDING HEIGHT OF 25'-5"

PARKING:

ONE OFF STREET PARKING SPACE AT REAR (MORE THAN 10' FROM WINDOW OR DOOR) WITH ACCESSIBLE PATH TO ADA THRESHOLD ENTRY

6107 ELLEN AVENUE
CLEVELAND, OHIO

002-30-064

45' X 70' (3,150 SF)

--

R, SINGLE FAMILY RESIDENTIAL
VB (NON SPRINKLERED)

2F-B1 RESIDENTIAL TWO FAMILY

868 SF

807 SF

1675 SF

183 SF

12'-6"

23'-0"

3'-1"

2'-5"

11.0% OF WALL AREA

14'-11"

14'-11"

14'-3"

25'-5.5" < 35'

1,675 GSF > (50% * 3150 SF)

SHEET INDEX:

TITLE SHEET / GENERAL:

T0-00

TITLE SHEET, GENERAL NOTES, SHEET INDEX, PROJECT DATA

CONTEXT MAP

STREET CONTEXT PHOTOS

CIVIL - SURVEY

CONSTRUCTION DRAWINGS:

SP-01

SITE PLAN

L-01

LANDSCAPE PLAN

T0-01

RENDERING AND MATERIALS

T0-01

PREVIOUS RENDERING AND MATERIALS (MAY-2025)

A1-00

CONSTRUCTION SLAB AND ROOF PLANS

A1-01

CONSTRUCTION FLOOR PLANS

A1-02

CONSTRUCTION REFLECTED CEILING PLANS

A2-01

EXTERIOR ELEVATIONS

A3-01

BUILDING SECTIONS

A3-02

BUILDING SECTIONS

A4-00

EXTERIOR DETAILS AND WINDOW SCHEDULE

A9-01

CABINETRY

A9-02

DOOR SCHEDULE AND DETAILS

G1-01

GARAGE PLANS

NOT INCLUDED:

MEP-01

MECHANICAL - ELECTRICAL PLUMBING PLANS

S1-00

STRUCTURAL NOTES AND DETAILS

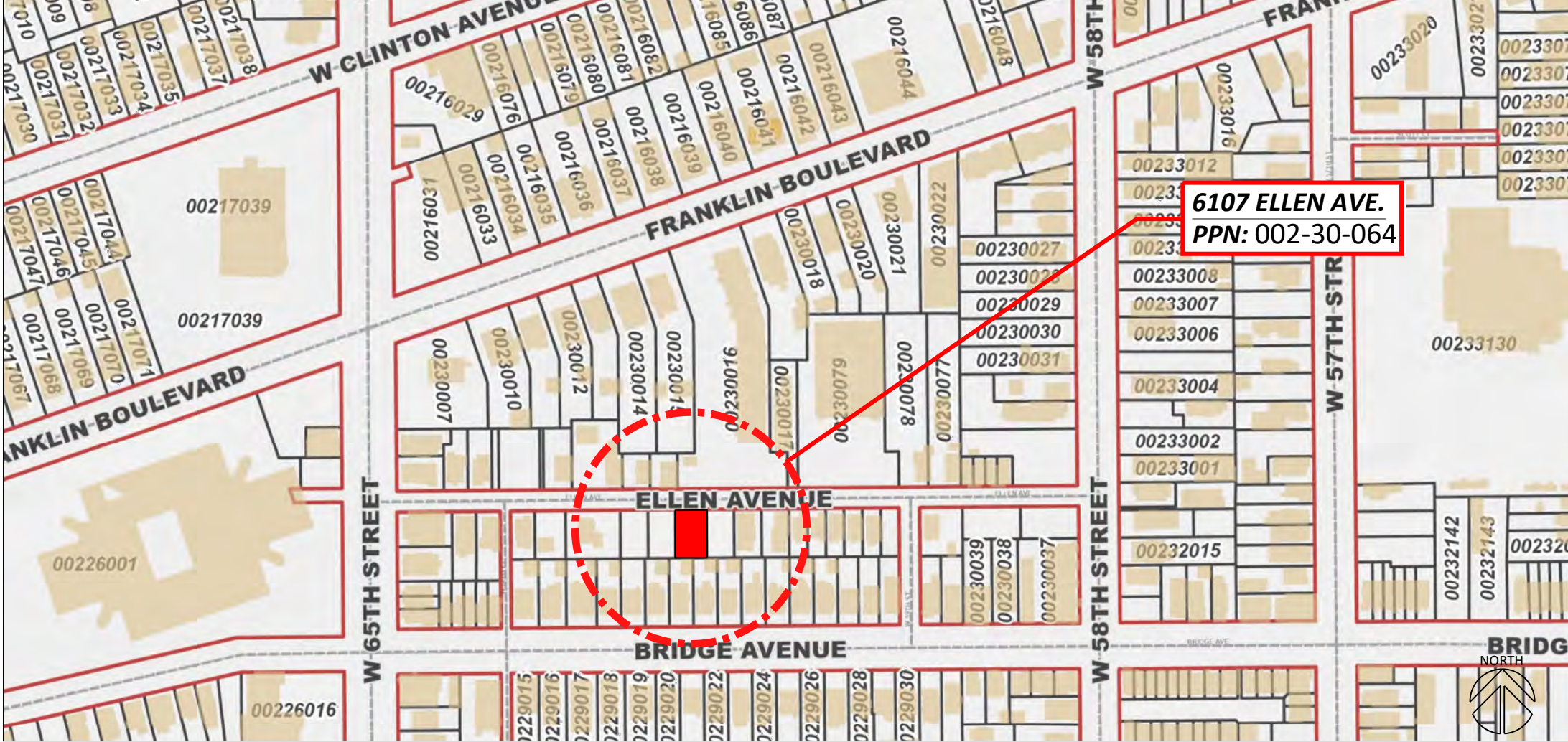
S1-01

STRUCTURAL PLANS

GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
- THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
 - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
 - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS.
 - PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FORM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
 - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL OR WORKMANSHIP WHICH

SITE LOCATION:



- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ETC.(WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.

SEAL:

NOT FOR CONSTRUCTION

DATE:

07-24-2025

ISSUED:

Issued for Review

Issued for Review 2

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

6107 Ellen Avenue
Cleveland, Ohio

Todt - Watkins

Prototype Aging in Place Housing
to Accommodate:

Single Family Small Lot
Residence

TITLE:

TITLE SHEET

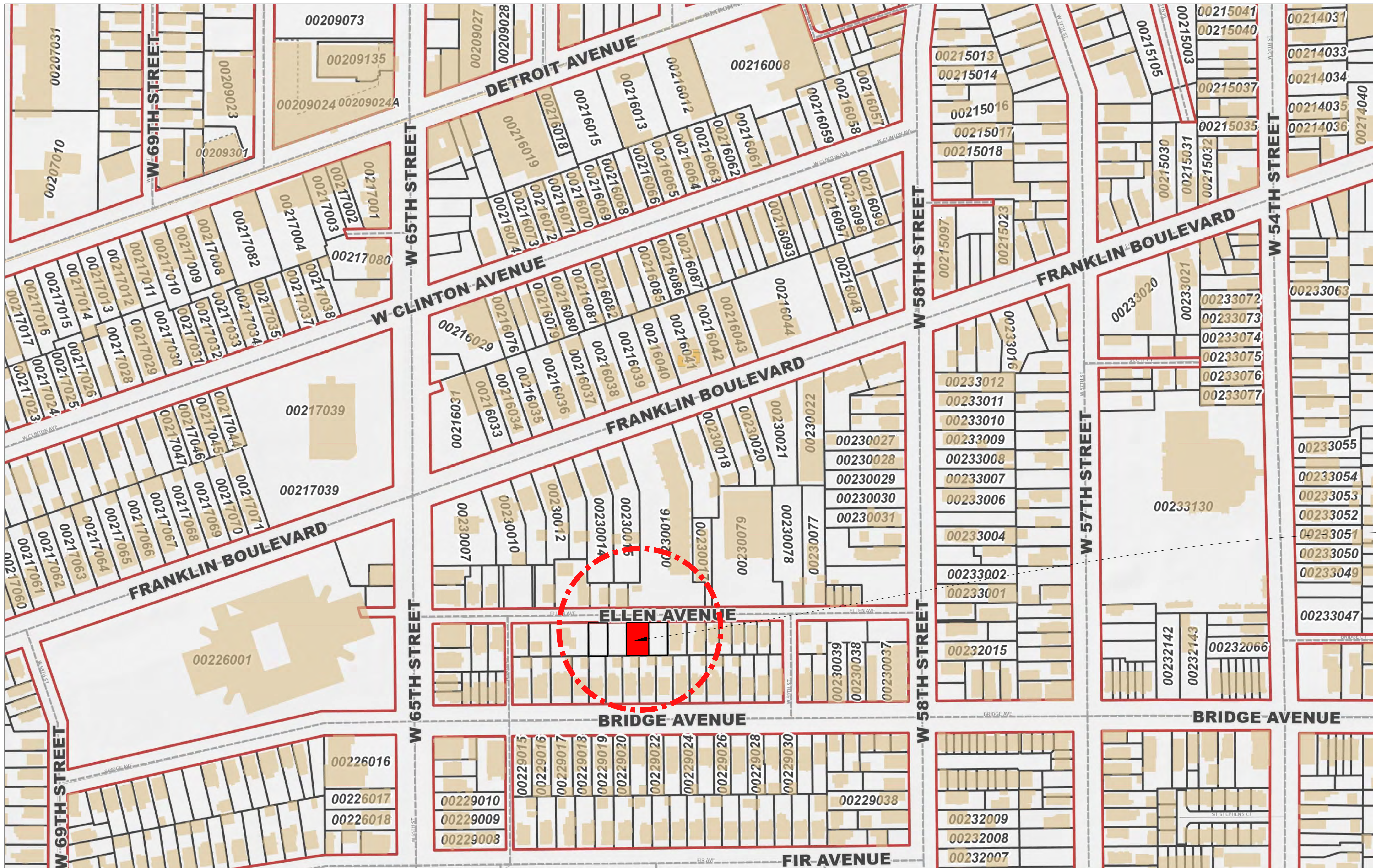
ISSUE:

DATE:

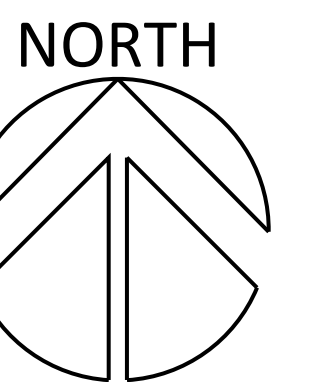
08.20.2025

SHEET:

T0-01



LOCATION
ELLEN AVENUE
PROTOTYPE





ELLEN AVE (4 LOTS) FACING EAST



ELLEN AVE (4 LOTS) FACING WEST



6007 ELLEN AVE



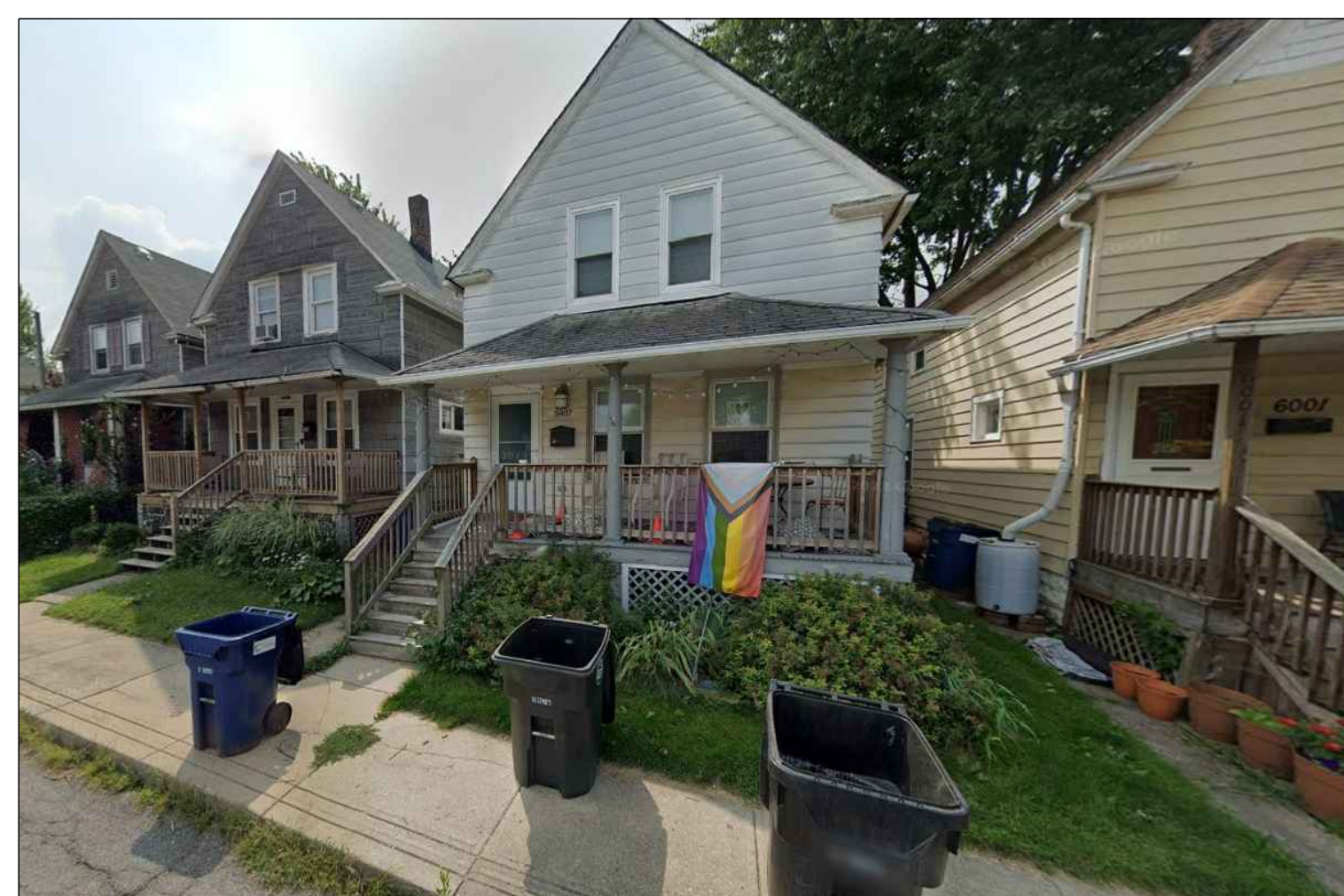
6408 ELLEN AVE -70' FRONTAGE



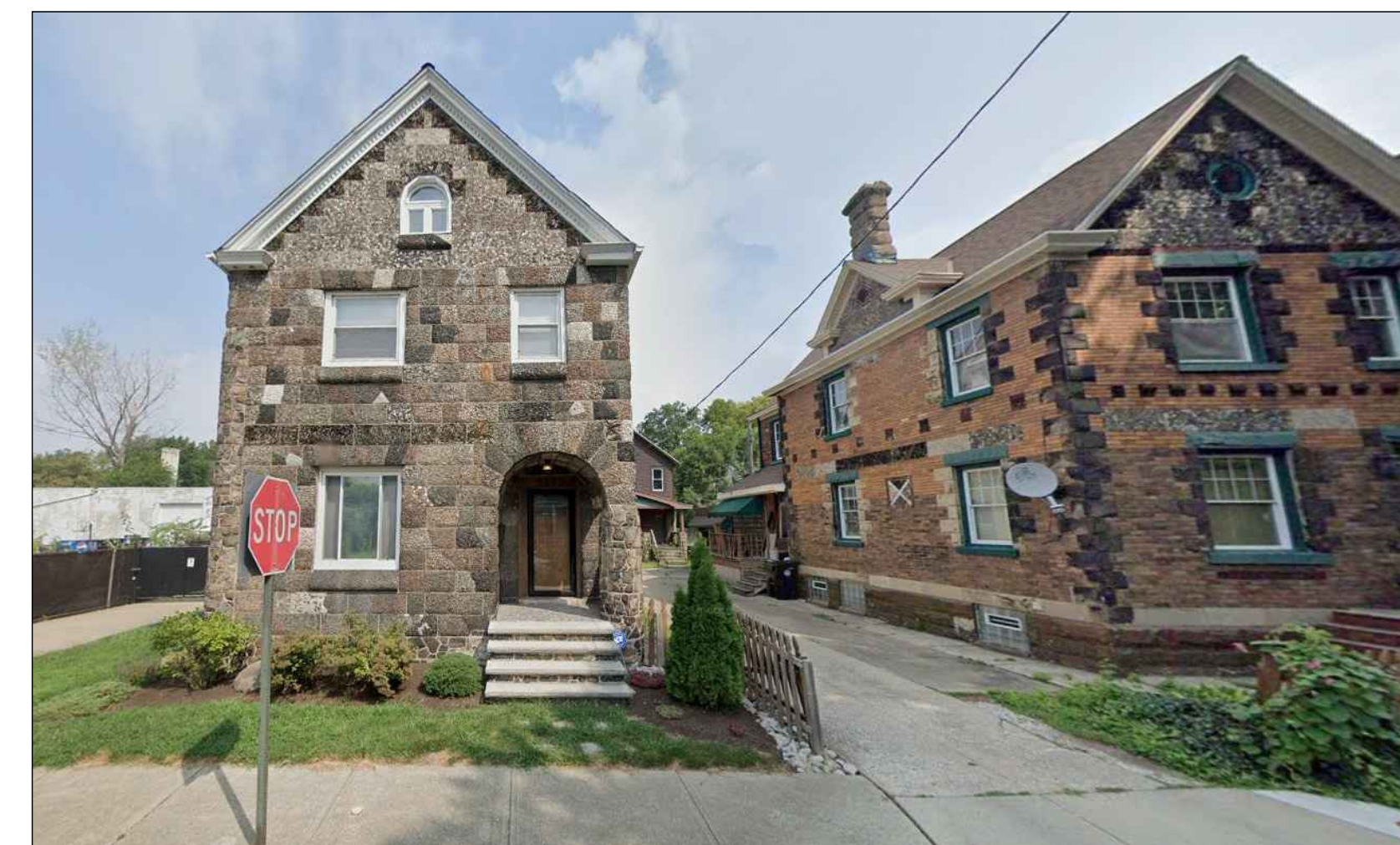
6300 ELLEN AVE -35' FRONTAGE



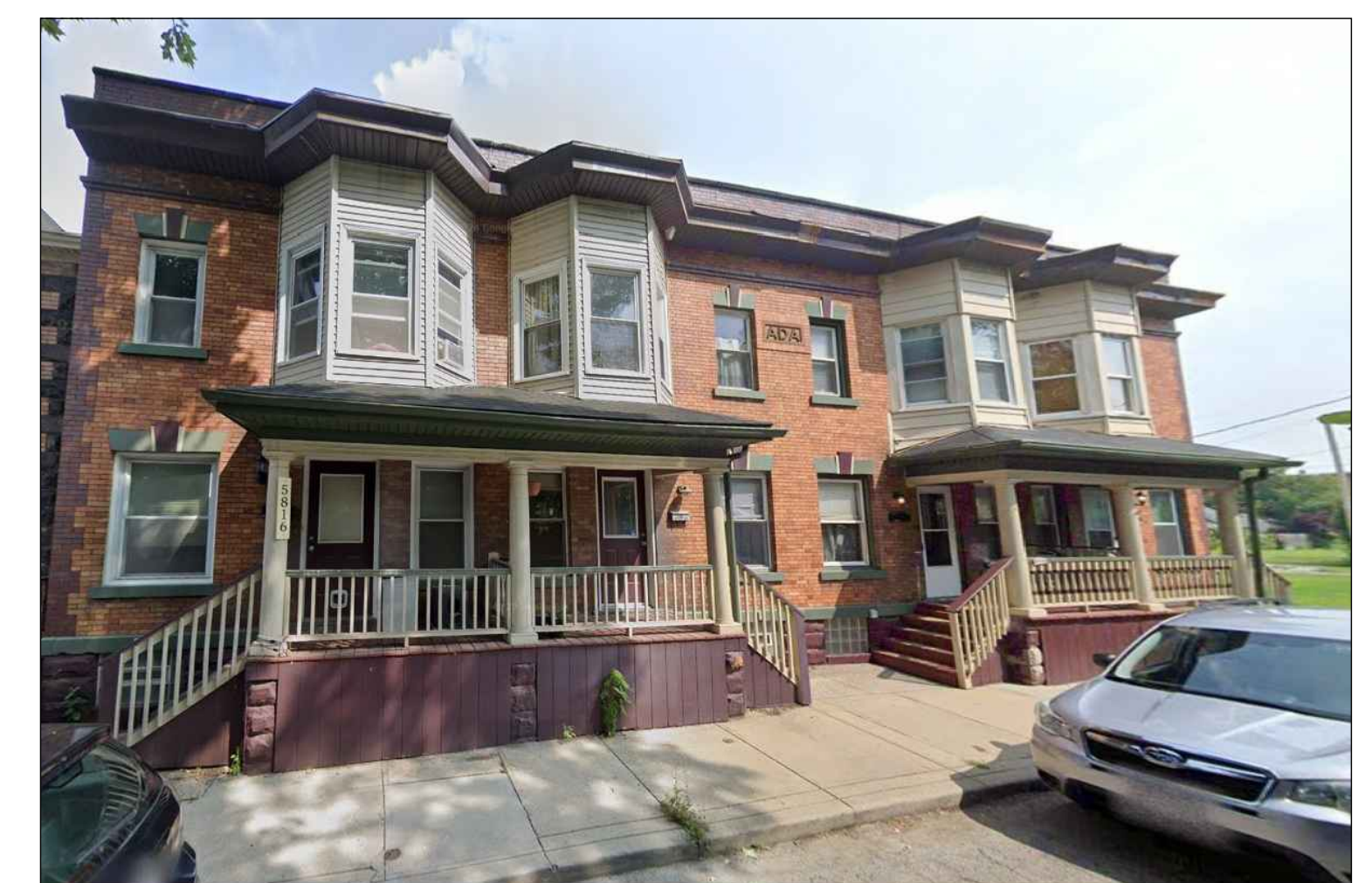
6101 ELLEN AVE -40' FRONTAGE



5907 ELLEN AVE -27' FRONTAGE

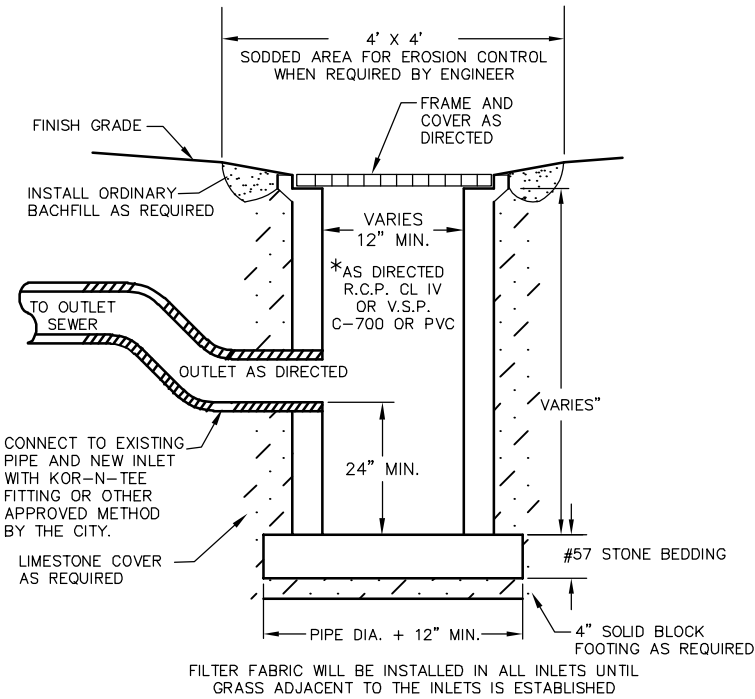


5822 ELLEN AVE -30' FRONTAGE



5816 ELLEN AVE -17'+ ROW FRONTAGE

- NOTES:
- UNDERGROUND INFORMATION SHOWN, REGARDING SANITARY, STORM, & WATER CONNECTIONS ONLY, ARE TAKEN FROM CITY RECORDS AND TYPE, SIZE & ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR OR PRIOR TO CONSTRUCTION.
 - REMOVE AND REPLACE EXISTING 4" CONCRETE SIDEWALK AT SITE.
 - DRIVEWAY & APRON TO BE 6" THICK MINIMUM, PLACED ON 6" COMPACTED GRAVEL BASE.
 - CITY SIDEWALK & SERVICE WALK TO BE 4" THICK MINIMUM, PLACED ON 4" COMPACTED GRAVEL BASE.
 - 1/2" EXPANSION JOINT MATERIAL PROVIDED AT 30' INTERVALS AND AT CHANGES IN SLAB THICKNESS.
 - ALL CONCRETE MIXED WITH MINIMUM 650 LBS. PORTLAND CEMENT PER CUBIC YARD (MIN. 7-SACK).
 - CLEAR TREES AND BRUSH AS NECESSARY TO ESTABLISH SWALES.



YARD INLET – GENERAL AREA

GRADING PLAN

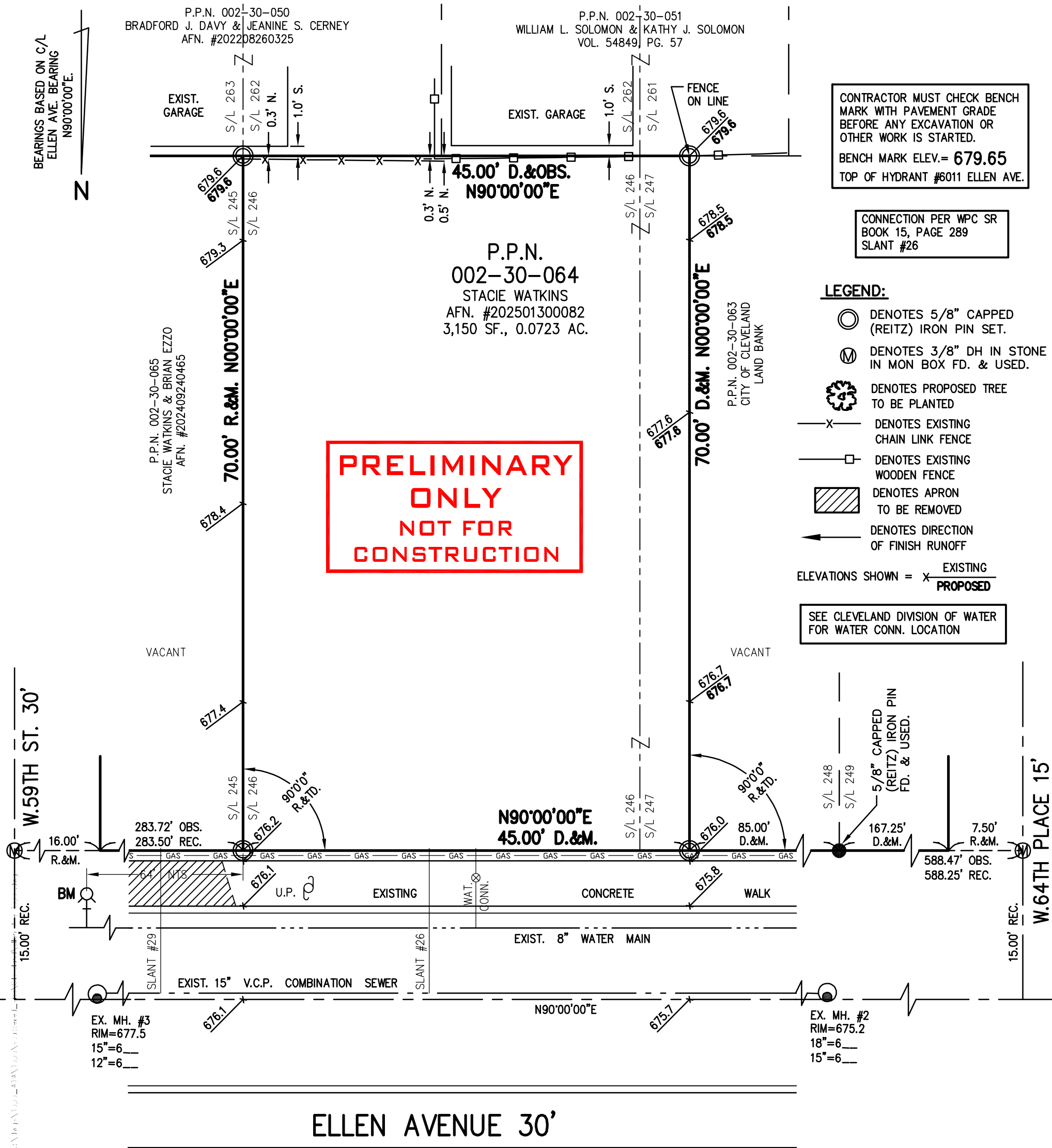
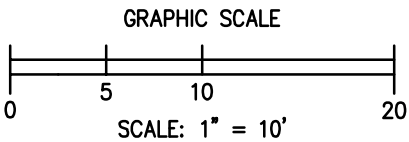
FOR
P.P.N. 002-30-064
#6107 ELLEN AVENUE
ALL OF SUBLT NO. 246 & THE
EASTERLY 5' OF SUBLT NO. 247
IN THE
GORDON AVENUE ALLOTMENT
RECORDED IN VOL. 21 PG. 2
NOW IN
THE CITY OF CLEVELAND
CUYAHOGA COUNTY, OHIO
FOR

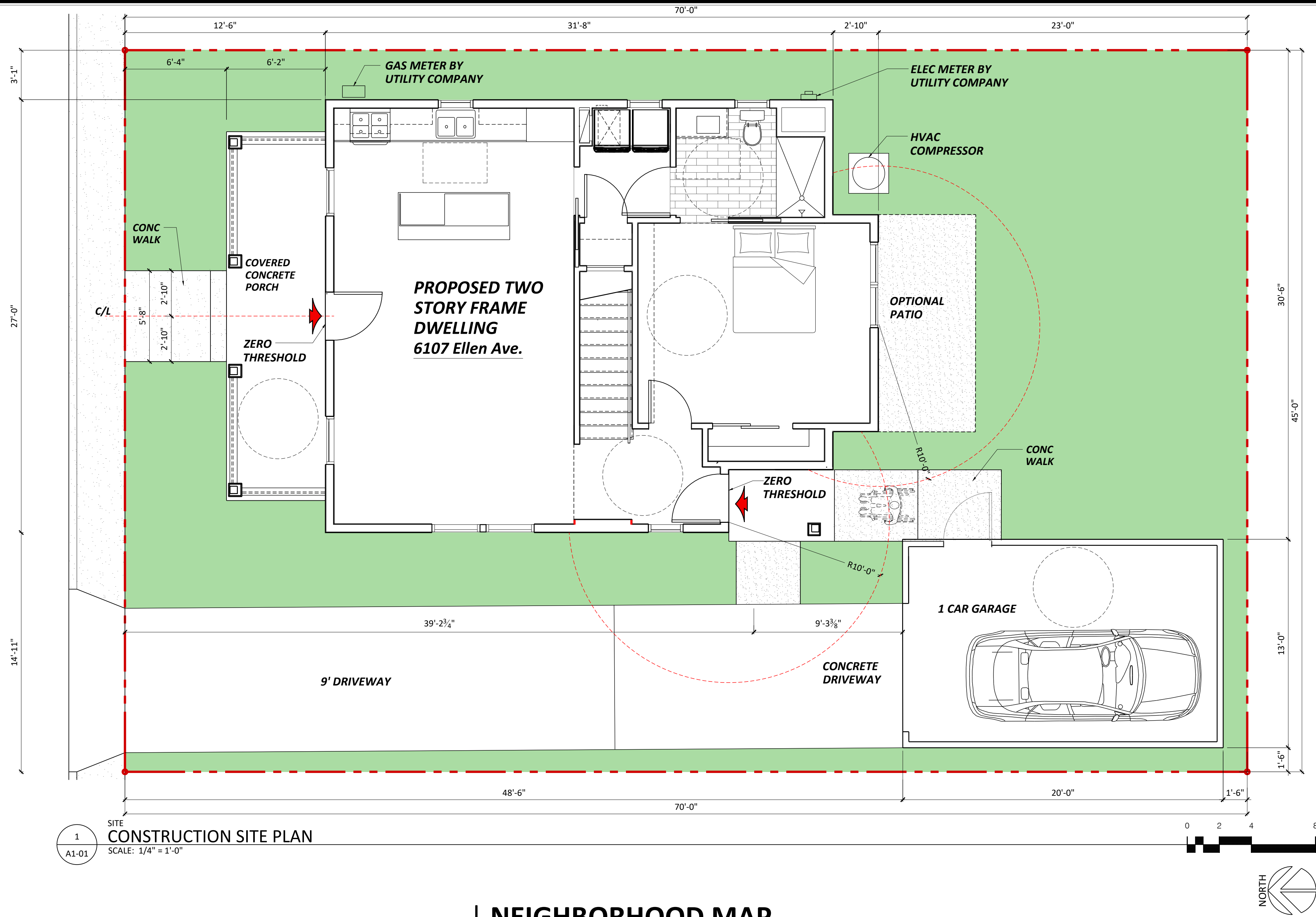
INDEPENDENCE EXCAVATION, INC.
#5720 E. SCHAAF RD.
INDEPENDENCE, OH 44131
PH: (216) 469-0504

BY
THE HENRY G. REITZ ENGINEERING COMPANY
#4214 ROCKY RIVER DRIVE, CLEVELAND, OH. 44135
PH: (216) 251-3033, EMAIL: REITZ@REITZENG.COM

BY: PRES.

JAMES T. SAYLER, REG. SURVEYOR NO. S-7425
SCALE 1" = 10' MARCH, 2025





SEAL:

NOT FOR CONSTRUCTION

ISSUED:	DATE:
Issued for Review	07-24-2025
Issued for Review 2	08-20-2025

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todd - Watkins
Prototype Aging in Place Housing
to Accommodate:
**Single Family Small Lot
Residence**

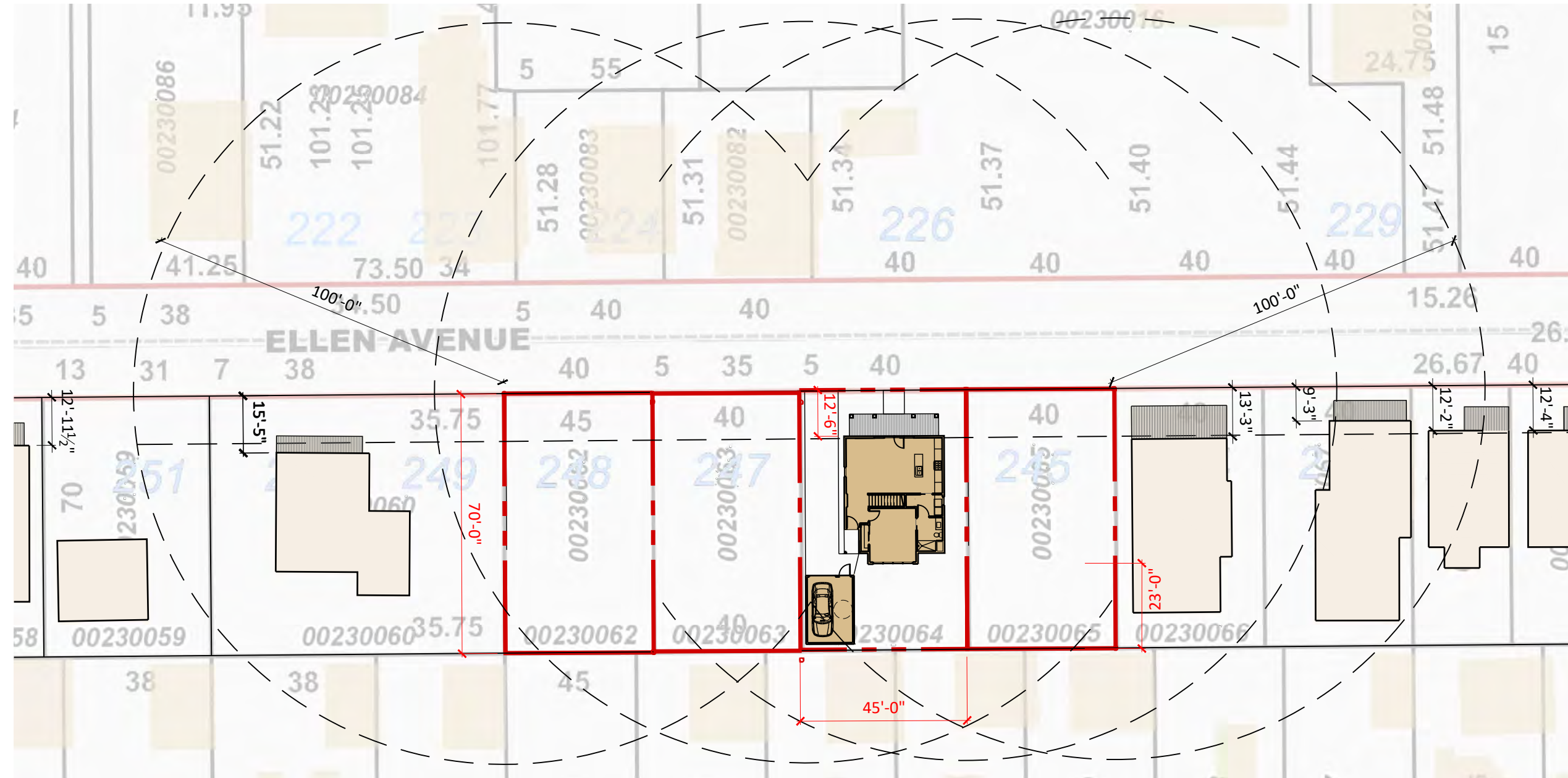
6107 Ellen Avenue
Cleveland, Ohio

TITLE:
SITE PLAN
AND CONTEXT

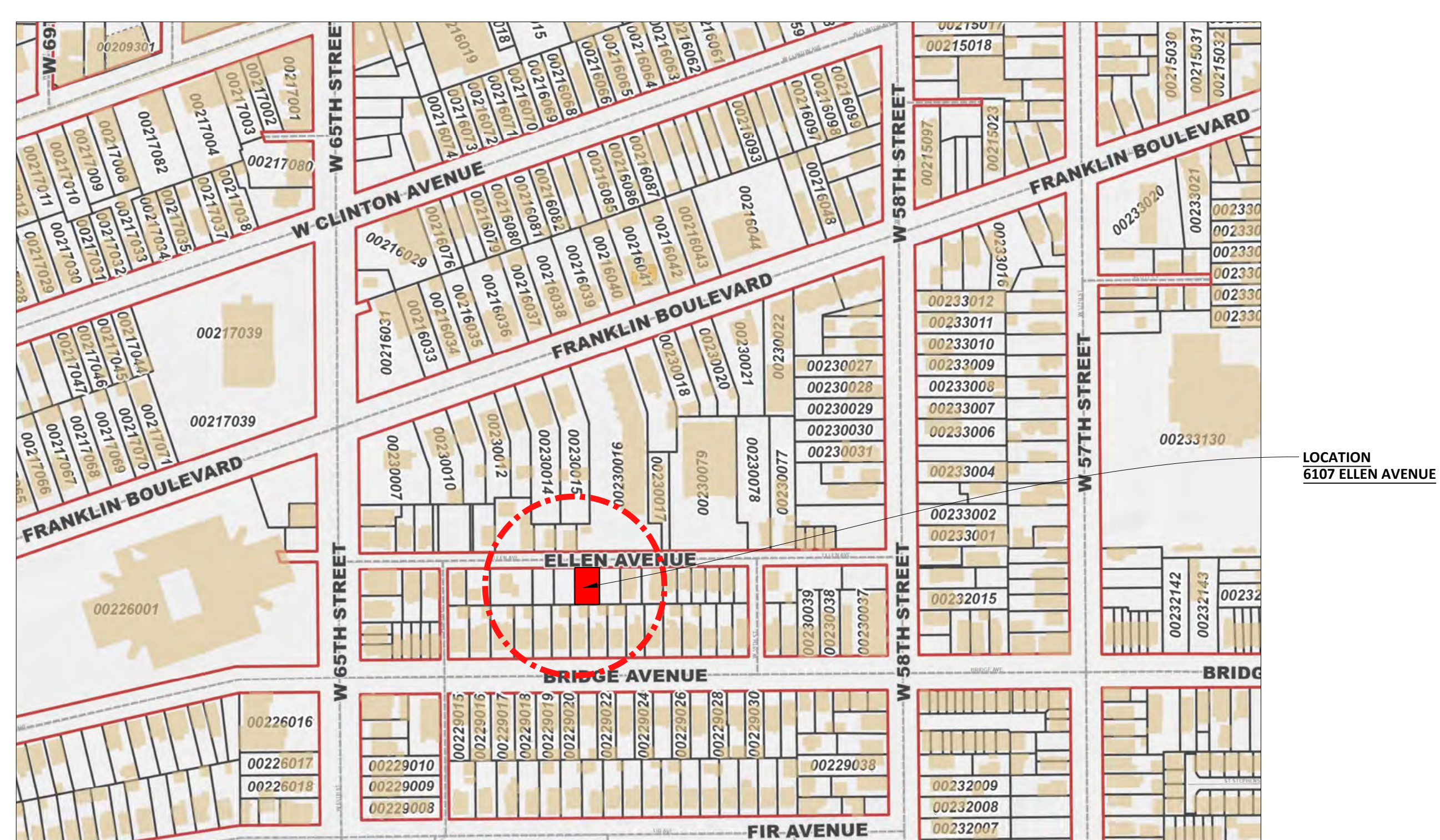
ISSUE: DATE:
08.20.2025

SHEET:
SP-01

FRONT SETBACK 12.5'

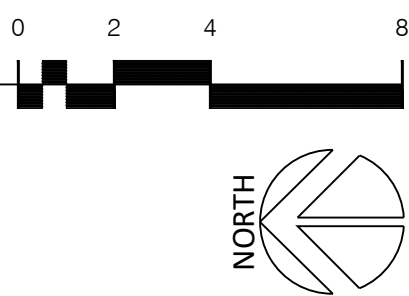


NEIGHBORHOOD MAP

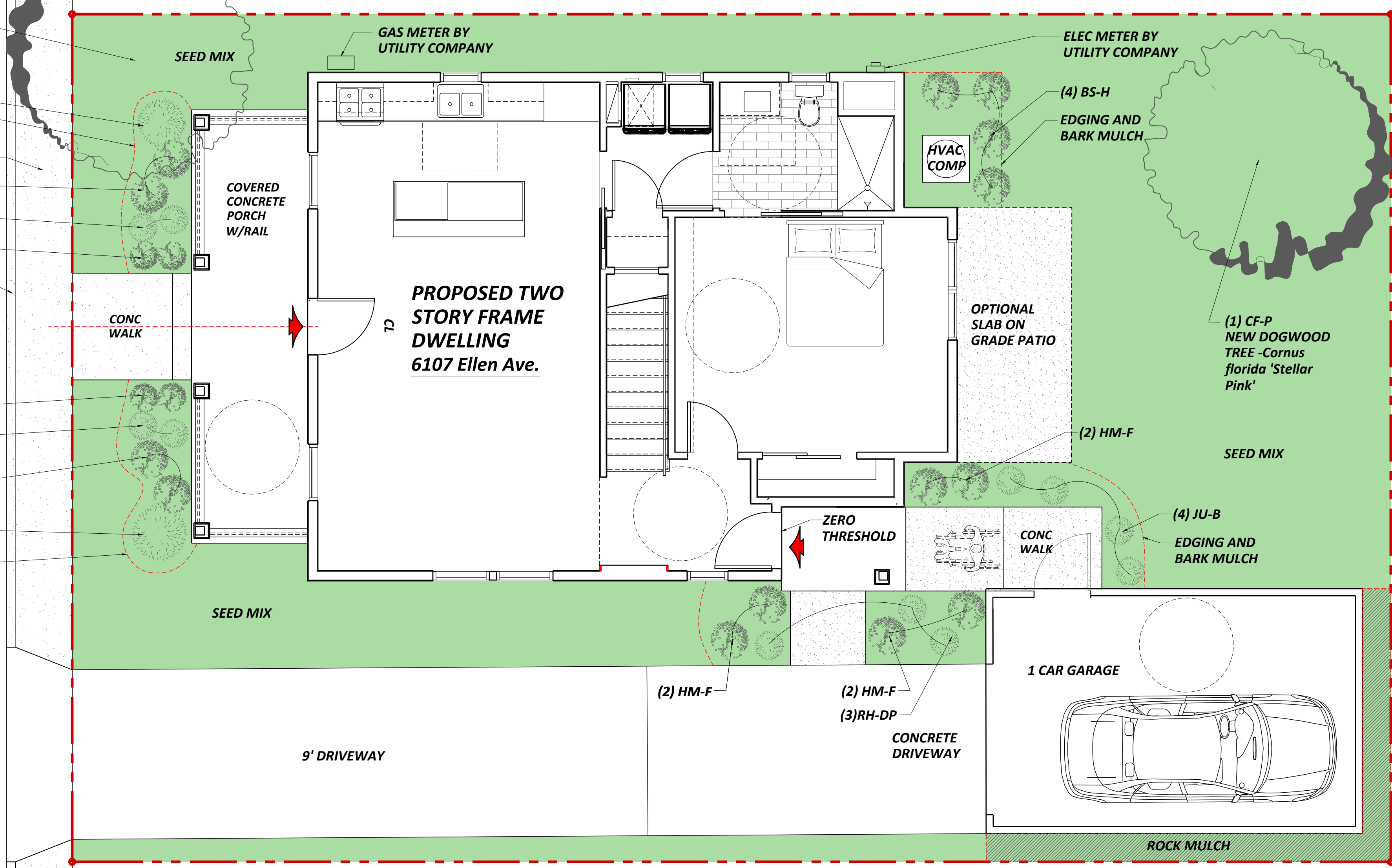


1 SITE LANDSCAPE PLAN
L-01 SCALE: 1/4" = 1'-0"

ELLEN AVENUE



- (1) CC-R
NEW DWARF
EASTERN
REDBUD - *Cercis
Canadensis*
- (1) SY-MK
EDGING AND
BARK MULCH
- SIDEWALK
- (2) HM-F
- (2) JU-B
- (2) LV-A
- CURB
- (2) LV-A
- (2) JU-B
- (2) HM-F
- (1) LP-SP
EDGING AND
BARK MULCH



LANDSCAPE NOTES

- DESCRIPTION: PLANTING AND SEEDING REQUIRED FOR THIS WORK IS INDICATED ON THE DRAWINGS AND IN GENERAL INCLUDES THE PLANTING AND OTHER GROUND COVER THROUGHOUT THE SCOPE OF WORK DELINEATED AS BASE BID.
- QUALITY ASSURANCE: PROVIDE AT LEAST ONE WORKMAN WHO SHALL BE PRESENT AT ALL TIMES DURING THE EXECUTION OF THIS PORTION OF WORK AND WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE OF MATERIALS BEING INSTALLED AND THE BEST METHODS FOR THEIR INSTALLATION AND WHO SHALL DIRECT ALL WORK PERFORMED UNDER THIS SCOPE. ALL PLANTS AND PLANTING MATERIAL SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
1. SUBMITTALS: WITHIN 35 DAYS AFTER AWARD OF THE PROJECT, AND BEFORE ANY MATERIALS ARE DELIVERED TO THE SITE, SUBMIT TO THE ARCHITECT AND OWNER A COMPLETE LIST OF NURSURIES WHERE PLANTS ARE TO BE OBTAINED AND OTHER TYPES PROPOSED TO BE INSTALLED INCLUDE DATA ON SOURCE, SIZE, AND QUALITY. ALL CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY SHIPMENTS AND BE DELIVERED TO OWNER AFTER INSTALLATION. APPROVAL OF PLANTS BY THE PROVIDER DOES NOT ALTER THE RIGHT OF REJECTION AT THE PROJECT SITE.
2. STANDARD OF CARE SHALL BE TAKEN IN PRODUCT HANDLING. IN THE EVENT OF ANY DAMAGE AT ANY TIME BEFORE THE PROJECT IS DELIVERED TO THE OWNER, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY FOR THE APPROVAL OF THE ARCHITECT AND OWNER.
3. TOPSOIL SHALL CONFORM WITH ASTM D 5268-92. USE ON SITE STOCKPILED TOPSOIL AT LAWN AREAS. IF THE QUANTITY OF ON SITE TOPSOIL STOCKPILED IS INSUFFICIENT FOR THE WORK, PROVIDE IMPORTED TOPSOIL FROM KURTZ BROTHERS. USE IMPORTED TOPSOIL/PLANTING MIX AT ALL PLANTING BEDS SUITED TO THE SPECIES INSTALLED.
4. SEED SHALL BE 5 WAY BLEND PERENNIAL RYE GRASS COMPOSED OF 20% APPLE GL PERENNIAL RYE, 20% HOMERUN PERENNIAL RYE, 20% FIESTA 4 PERENNIAL RYE, 20% AMAZING GS PERENNIAL RYE 20% PROTÉGÉ GLR PERENNIAL RYE. LIME SHALL BE PROVIDED AS REQUIRED. FERTILIZER FOR LAWNS SHALL BE 12-12-12, UNIFORM IN COMPOSITION CONFORMING TO THE APPLICABLE STATE FERTILIZER LAW AND BEARING THE NAME TRADE NAME, OR TRADEMARK AND WARRANTY OF THE MANUFACTURER.
5. PLANTINGS INCLUDING TREES, SHRUBS, EVERGREENS, AND HERBACEOUS PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FIRST CLASS, FRESHLY DUG, NURSERY-GROWN IN A CLIMATE SIMILAR OR MORE SEVERE THAN NORTHEAST OHIO'S CLIMATE ZONE. ALL PLANT MATERIAL SHALL BE FREE OF INSECTS, THEIR EGGS, AND LARVAE AND SHALL BE FREE OF ALL MECHANICAL OR CULTURAL INJURY BY RODENTS AND FREE OF AFTER EFFECTS OF INSECTS. ALL PLANTS SHALL BE TRUE TO THEIR STANDARDIZED AND SCIENTIFIC NAMES. FERTILIZER FOR PLANTINGS SHALL BE 20-10-5, UNIFORM IN COMPOSITION CONFORMING TO THE APPLICABLE STATE FERTILIZER LAW AND BEARING THE NAME, TRADE NAME, OR TRADEMARK AND WARRANTY OF THE MANUFACTURER.
6. MULCH: MULCH SHALL CONSIST OF SHREDDED BARK MULCH OR ROCK MULCH AS SPECIFIED ON THE DRAWINGS. MATERIAL SHALL BE UNIFORM IN SIZE, COLOR, QUALITY, AND OVERALL APPEARANCE. MULCH SHALL BE FREE OF MATERIAL INJURIOUS TO PLANT GROWTH. SOURCES OF MULCH SHOULD BE FREE OF WEEDS AND INVASIVE PLANT PARTS OR SEEDS. SAWDUST, DIRT, GARBAGE, OR OTHER DEBRIS MIXED IN THE

- MULCH IS NOT ACCEPTABLE. CONTRACTOR SHALL SUBMIT TWO POUNDS OF PROPOSED MULCH FOR INSPECTION BY THE ARCHITECT.
- A. SHREDDED BARK MULCH: SHREDDED BARK MULCH SHALL CONSIST OF SHREDDED BARK AND WOOD. MAXIMUM LENGTH OF ANY INDIVIDUAL COMPONENT SHALL BE TWO INCHES (2") AND A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE MULCH SHALL PASS THROUGH A ONE INCH (1") SCREEN. MULCH SHALL BE FREE OF GERMINATION-INHIBITING INGREDIENTS. THE BARK MULCH SHALL HAVE THE CHARACTERISTICS OF RETAINING MOISTURE, FORMING A MAT NOT SUSCEPTIBLE TO SPREADING BY WIND OR RAIN, AND PROVIDING A GOOD GROWTH MEDIUM FOR PLANTS. SHREDDED BARK MULCH MAY CONTAIN UP TO FIFTY PERCENT (50%) SHREDDED WOOD MATERIAL. WOOD CHIPS ARE NOT ACCEPTABLE. BARK MULCH CONTAINING SHREDDED WOOD SHALL BE AGED A MINIMUM OF ONE YEAR PRIOR TO INSTALLATION. BARK MULCH SHALL BE FREE OF SOIL, ROCKS, AND WEEDS. WHERE NOTED, PROVIDE MIN 1.5 OZ DRAINABLE, NON-DECOMPOSING LANDSCAPE FABRIC AS AN UNDERLAYMENT FOR A MINIMUM OF 2-1/2" DEPTH OF MULCH TO FLUSH TO ADJACENT LAWN OR HARDSCAPE. PROVIDE 6" MIN METAL OR EQUAL LANDSCAPE EDGE ANCHORED BY STAKES 24" O.C.
- B. ROCK MULCH (GRAVEL MAINTENANCE STRIPS): ROCK MULCH SHALL BE #4 CANADIAN BLUE GRAVEL, UNIFORM IN SIZE. ALL FINES SHALL BE SCREENED FROM THE AGGREGATE WITHIN A ONE-QUARTER INCH (1/4") TOLERANCE. ROCK MULCH SHALL BE COMPOSED OF ROCKS THAT MAY BE VARIED IN COLOR. THE MATERIAL SHALL BE FREE OF ORGANIC AND INORGANIC DEBRIS AND TRASH. WHERE NOTED, PROVIDE MIN 1.5 OZ DRAINABLE, NON-DECOMPOSING LANDSCAPE FABRIC AS AN UNDERLAYMENT FOR A MINIMUM OF 2-1/2" DEPTH OF MULCH TO FLUSH TO ADJACENT LAWN OR HARDSCAPE. PROVIDE 6" MIN METAL OR EQUAL LANDSCAPE EDGE ANCHORED BY STAKES 24" O.C. AT LAWNS OR BEDS.
- C. OTHER MATERIALS: TACKIFIERS SHALL BE A LIQUID CONCENTRATE DILUTED WITH WATER FORMING A TRANSPARENT, 3D, FILM-LIKE CRUST PERMEABLE TO WATER AND AIR WITHOUT AGENTS TOXIC TO GERMINATION. ANTI-DESICANTS SHALL BE EMULSION-TYPE, FILM-FORMING TO PERMIT TRANSPIRATION, BUT RETARD EXCESSIVE LOSS OF MOISTURE. DELIVER IN MANUFACTURER'S CONTAINERS AND MIX ACCORDING TO INSTRUCTIONS. HERBICIDES MAY BE ROUNDUP, KLEENUP OR EQUAL. TREE WRAPPING SHALL NOT BE LESS THAN 4" WIDE, DESIGNED TO PREVENT BORING AND WINTER FREEZING. PROVIDE HARDWOOD STAKES AND GUY WIRES AS REQUIRED WITHOUT DAMAGE TO TREE OR ROOT BALL.
7. PRIOR TO ANY WORK IN THIS SCOPE, CAREFULLY INSPECT THE INSTALLED WORK OF ALL OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE WHERE THIS INSTALLATION MAY COMMENCE. IN THE EVENT OF ANY DISCREPANCIES IMMEDIATELY NOTIFY THE ARCHITECT BEFORE PROCEEDING.
8. LAYOUT: PLACE PLANTS AND TREES WITHIN 1'-0" AS SHOWN ON PLANS
9. LAWNS PLANTING SEASONS (LAWNS AND HYDROSEEDING) ARE AUGUST 15-OCTOBER 5 AND IN THE SPRING, FROM THE TIME GROUND IS NOT FROZEN AND WORKABLE TO JULY. ALL AREAS NOT IMPROVED ON THE DRAWINGS, WITHIN THE SCOPE OF WORK SHALL BE PLANTED WITH GRASS. FINISHED GRADING SHALL BE FREE OF DEPRESSIONS OR SETTLEMENT. ALL STONES OVER 1", STICKS AND DEBRIS SHALL BE REMOVED. SCARIFY THE SUBGRADE TO A DEPTH OF 3" WHERE TOPSOIL IS TO BE INSTALLED, AND IN AREAS OF EQUIPMENT COMPACTION. TOPSOIL SHALL BE DISTRIBUTED TO A MIN 2" DEPTH. MANUALLY SPREAD TOPSOIL AROUND TREES AND PLANTINGS TO PREVENT ANY DAMAGE. BRING ALL SEEDED AREAS TO A SMOOTH FINISHED GRADE. LIGHTLY COMPACT TOPSOIL AND REMOVE ALL EXCESS TOPSOIL FROM JOBSITE. WHERE LIME IS REQUIRED, PROVIDE 50 POUNDS PER 1000 SF RAKED IN. FERTILIZERS SHALL BE APPLIED 15

- POUNDS TO 1000 SF AND RAKED IN. REMOVE ALL WEEDS FROM AREAS TO BE SEED. DISC, FERTILIZE, EVEN OUT AND SOW SEED AT A RATE OF 5 POUNDS PER 1000 SF. COVER WITH 1-1/2" NON-COMPACTED STRAW. MAINTAIN WATERING AND PROTECTION UNTIL A FULL STAND OF GRASS IS ESTABLISHED AND ACCEPTED BY OWNER AND ARCHITECT. RE-SEED AND PROTECT BARE AREAS AS REQUIRED.
10. HYDROSEEDING AT ADD ALTERNATE WORK: USE A HYDROMULCHER (SPRAYER) AND APPLY MIXTURES PER CIVIL DRAWINGS' SPECIFICATION AT THE FOLLOWING RATES. MIX IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS: A) SEED AT 260 LBS/ACRE; B) FERTILIZER AT 435 LBS/ACRE; C) TACKIFIER AT 45 LBS/ACRE; WOOD CELLULOSE FIBER MULCH AT 1,500 LBS/ACRE, STRAW MULCH AT 2-1/2 TONS/ ACRE; LIMESTONE AS REQUIRED BY FIELD SOIL TEST.
11. PLANTINGS: SHRUBS AND TREES SHALL HAVE A SOIL MIXTURE AT A MIN 6" DEPTH. ON THE BOTTOM OF ALL PLANT AREAS, PROVIDE A LIGHTLY-TAMPED 6" BASE OF SOIL MIXTURE OR AS MUCH AS NECESSARY SO THAT THE ROOT BALL WILL REST ON IT TO THE REQUIRED FINISHED GRADE. SET ALL PLANTS SO THAT WHEN SETTLED, THEY WILL RELATE TO THE FINISHED GRADE AS THEY WERE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED. REMOVE ALL BURLAP, ROPES, STAVES, ETC. BEFORE PIT IS FILLED IN. DO NOT MAT BARE-ROOTED PLANTS, BUT WORK ROOTS INTO SOIL MIXTURE NATURALLY. PROPERLY PRUNE ALL DAMAGED ROOTS. DIG AND PREPARE PITS TO A MINIMUM 6" DEPTH. PROVIDE AT LEAST 2'-0" EXTRA WIDTH THAN THE ROOT BALL OR SPREAD OF ROOTS. ADD 21 GRAMS "AGRIFORM" PLANTING TABLETS OR EQUAL TO SHRUB PLANTING PITS HALFWAY UP FROM THE BOTTOM OF PIT IN THE SOIL MIXTURE, 1" FROM THE ROOT(BALL). SET ALL SHRUBS AND TREES SO AS TO ALLOW SUFFICIENT DEPTH OF PLANTING AND A FINISHED CROWN AT THE FINISHED SURFACE OF THE BED AROUND IT. FILL WITH SOIL MIXTURE AND THOROUGHLY SETTLE BY WATERING-FORM THE SOIL MIXTURE TO PROVIDE A SHALLOW SAUCER. FOR TREES, ADD "TERRA SORB AG" OR EQUIVALENT SOIL MOISTURIZER GRANULES TO THE SOIL MIXTURE PER THE MANUFACTURER'S RECOMMENDATIONS. FERTILIZE ALL TREES WITH "AGRIFORM" PLANTING TABLETS. USE ONE 21 GRAM (20-10-5) TABLET FOR EACH FOOT OF HEIGHT OR SPREAD. ALL TREES ARE TO BE WRAPPED AND STAKED FOR PROTECTION. DRESS ALL PLANT BEDS WITH MULCH PER DRAWINGS. PRUNE ALL NEW SHRUBS AND TREES IN ACCORDANCE WITH ACCEPTABLE STANDARD PRACTICES. PROTECT ALL NEW PLANTINGS FROM DAMAGE. IF ANY TREES, SHRUBS, OR PLANTINGS ARE INJURED, TREAT OR REPLACE. ENSURE PROPER SAFEGUARD PROTECTIONS. PLANTING SEASONS ARE AUGUST 15-OCTOBER 5 2019 AND IN THE SPRING 2020, FROM THE TIME GROUND IS NOT FROZEN AND WORKABLE TO JULY
12. MAINTENANCE. MAINTAIN ALL PLANTINGS IMMEDIATELY AFTER INSTALLATION. SPRAY FOLIAGE WITH WATER WHERE REQUIRED DURING EVENING HOURS, OR AFTER SUNDOWN, OR AS DIRECTED. KEEP ALL PLANTINGS IN A HEALTHY-GROWING CONDITION BY WATERING, WEEDING, CULTIVATING, PRUNING, TRIMMING, AND BY PERFORMING ANY OTHER NECESSARY OPERATIONS OF MAINTENANCE. MAINTENANCE SHALL INCLUDE THE SPRING CLEANUP AND MAINTENANCE IMMEDIATELY AFTER INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUED PROPER CARE OF THE LAWN DURING THE PERIOD WHEN THE GRASS IS BECOMING ESTABLISHED. ALL LAWNS SHALL BE PROTECTED FROM DAMAGE INCLUDING EROSION AND WASHOUT. THE PERIOD OF MAINTENANCE AND CARE SHALL BE FROM 60 DAYS WITH TWO MOWINGS (CUT TO 2" WITH APPROVED MOWING EQUIPMENT WHENEVER THE AVERAGE HEIGHT BECOMES 3"). ALL WEEDS AND INVASIVE GRASSES SHALL BE REMOVED DURING MOWING. MAINTENANCE SHALL LAST AS LONG AS NECESSARY TO ESTABLISH OVER THE ENTIRE LAWN AS A UNIFORM STAND OF GRASS, FREE OF WEEDS, UNDESIRABLE GRASSES, OR BARE SPOTS. AFTER ACCEPTANCE OF THE LAWN BY THE OWNER, THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITY. AREAS NEEDING RESEEDING OR RESEEDING WILL BE DESIGNATED BY THE ARCHITECT AND OWNER 15 DAYS PRIOR TO THE TIME REQUIRED FOR FERTILIZATION OR SEEDING. FINAL INSPECTION OF THE LAWN WILL OCCUR AFTER THE SECOND MOWING WITH NOTIFICATION TO THE OWNER AND ARCHITECT TEN (10) DAYS MINIMUM BEFORE ANTICIPATED DATE. CONTRACTOR TO CLEAN THE SITE OF ALL EXTRA SOILS, MULCH, AND DEBRIS PRIOR TO FINAL INSPECTION.
13. ACCEPTANCE: FINAL INSPECTION WITH OWNER AND ARCHITECT SHALL DETERMINE ACCEPTANCE OR NON-ACCEPTANCE OF ALL WORK TO BE COMPLETED. FOR LAWNS, ACCEPTANCE IS CONTINGENT ON A COMPLETE DENSE COVER OF GRASSES IN ALL LAWN AREAS WHICH HAVE BEEN MAINTAINED BY WATERING, WEEDING, FERTILIZING, AND MOWING AND APPEARS IN A HEALTHY STATE WITHOUT WEEDS, INVASIVE GRASSES, BARE SPOTS, EROSION, DEBRIS, OR STONES. LAWNS NOT MAINTAINED OR NOT TO THE STANDARD LISTED ABOVE WILL BE REWORKED AND MAINTAINED UNTIL DESIRED RESULTS ARE OBTAINED. MAINTAIN ALL LAWNS, TREES, SHRUBS AND PLANTINGS UNTIL ACCEPTANCE, BUT IN NO CASE LESS THAN 60 DAYS AFTER FINAL INSTALLATION. THE CONDITION OF ALL INSTALLATIONS, LAWNS AND PLANTINGS WILL BE MADE AT FINAL INSPECTION FOR ITEMS NEEDING ADDITIONAL MAINTENANCE OR CORRECTION FOR FINAL ACCEPTANCE. FINAL ACCEPTANCE WILL BE SCHEDULED WITH THE OWNER AND ARCHITECT WITH TEN (10) DAYS NOTICE AFTER THE MAINTENANCE PERIOD AND ALL CORRECTIONS MADE. A NOTICE OF COMPLETION WILL BE ISSUED AFTER SUCCESSFUL ACCEPTANCE.
14. GUARANTEE PERIOD SHALL BE ONE (1) YEAR AFTER NOTICE OF COMPLETION HAS BEEN ISSUED. AFTER A YEAR, A WARRANTY WALK SHALL BE SCHEDULED BY THE CONTRACTOR WITH OWNER AND ARCHITECT. ALL LAWNS AND PLANT MATERIALS NOT IN A HEALTHY OR 50% DEFOLIATED CONDITION WILL BE GIFTED FOR CORRECTION. REPAIR AND REPLACE ANY CORRECTIONS IN THE NEXT GROWING SEASON AT NO EXTRA COST TO THE OWNER OR PROJECT. CORRECTIONS WILL BE WARRANTED ANOTHER YEAR FROM THEIR ACCEPTANCE.



MISS KIM LILAC



BUFFALO JUNIPER



LITTLE PRINCESS SPIREA



DOUBLE PINK AZALEA



STELLA D'ORO DAYLILLY



EASTERN REDBUD



LAVENDER



HIGHLANDER BOXWOOD



STELLAR PINK DOGWOOD (CF-P)

QTY	KEY	NAME	COMMON NAME	SIZE	NOTES
1	SY-MK	SYRINGA PATULA "MISS KIM"	MISS KIM LILAC	18"	B&B
4	LV-A	LAVANDULA ANGUSTIFOLIA	LAVENDER	10"	#2 CONTAINER
11	JU-B	JUNIPERUS S. BUFFALO	BUFFALO JUNIPER	10"	#2 CONTAINER
1	LP-SP	SPIREA I "LITTLE PRINCESS"	LITTLE PRINCESS SPIREA	18"	#3 CONTAINER
10	RH-DP	RHODEDENDRON "DOUBLE PINK"	DOUBLE PINK AZALEA	12"	#2 CONTAINER
6	HM-F	HEMEROCALLIS FULVA	DAY LILLY-STELLA D'ORO	12"	#2 CONTAINER
4	BS-H	BUXUS SEMPERVIRENS	HIGHLANDER BOXWOOD	18"	#2 CONTAINER
1	CC-R	CERCIS CANADENSIS	EASTERN REDBUD	4-5'	B&B 2" CALIPER
1	CF-P	CORNUS FLORIDA	"Stellar Pink" FLOWERING DOGWOOD	4-5'	B&B 2" CALIPER

SEAL:

NOT FOR CONSTRUCTION

DATE:

07-24-2025

ISSUED:

Issued for Review

Issued for Review 2

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

6107 Ellen Avenue
Cleveland, Ohio

Todt - Watkins

Prototype Aging in Place Housing
to Accommodate:

Single Family Small Lot
Residence

TITLE:

LANDSCAPE PLAN

ISSUE:

DATE:

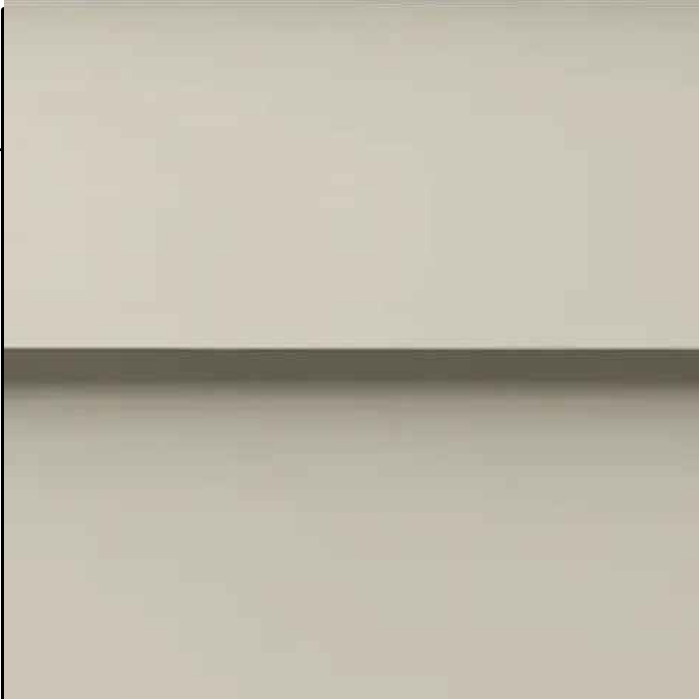
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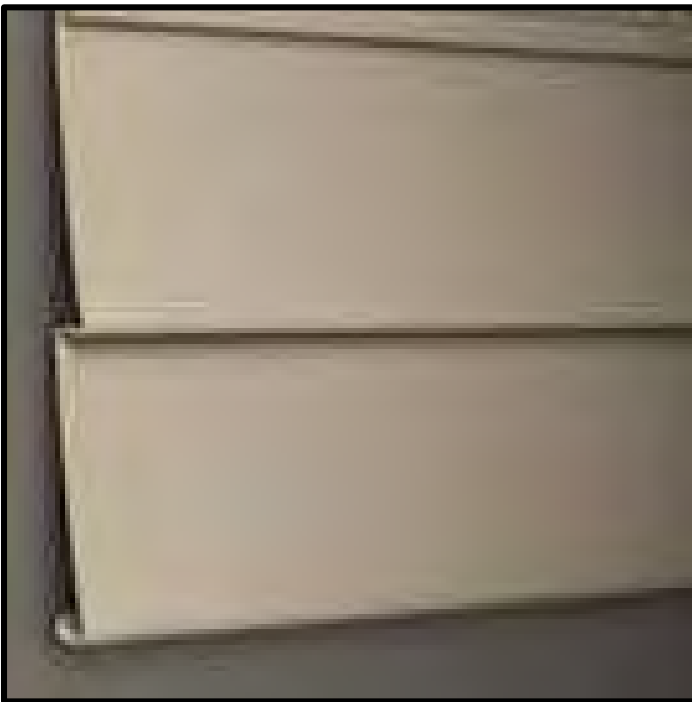
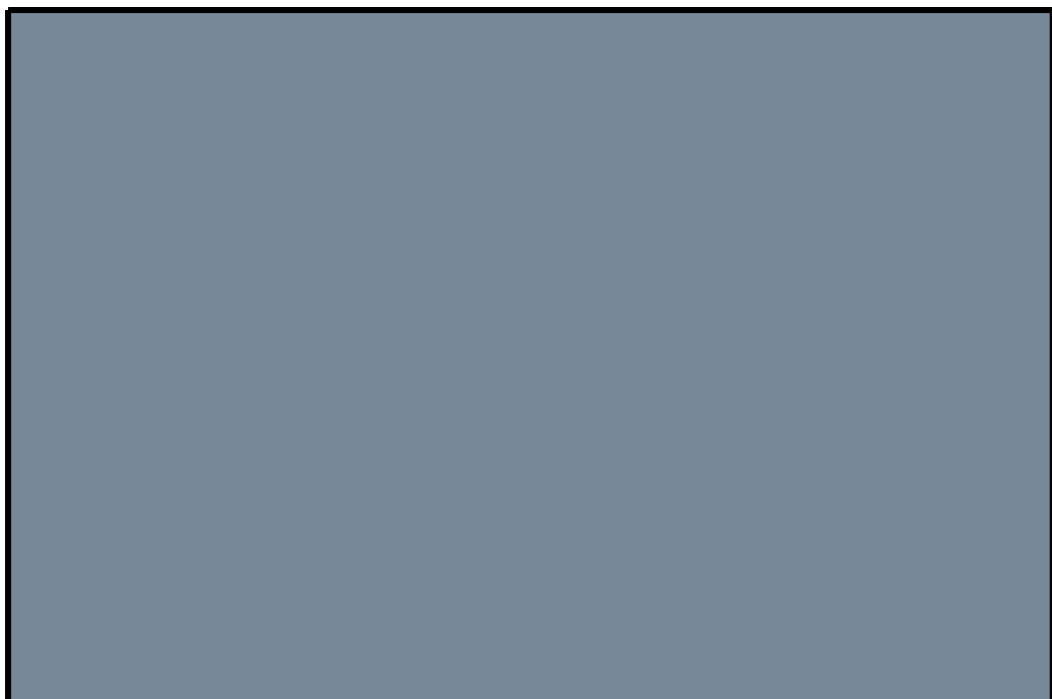
L-01



ROOFING: GAF TIMERLINE HDZ "CHARCOAL GRAY"



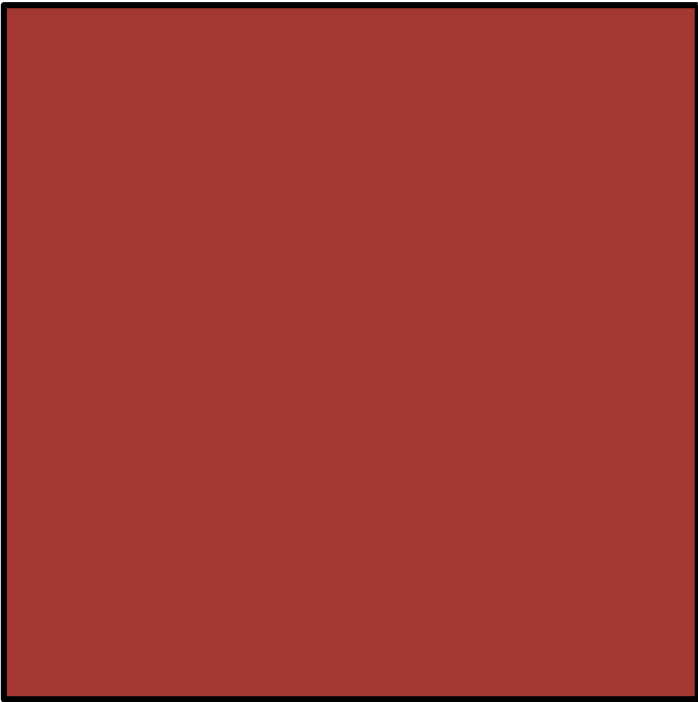
MAIN SIDING: JAMES HARDIE CEMENT FIBER SIDING: SMOOTH, 6.2" PLANK FOR 5" EXPOSURE TO MATCH VINYL SIDING. PRIME AND PAINT TO MATCH "HARBOR BLUE"



SIDE AND REAR SIDING: ALSIDE ODYSSEY 5" CLAPBOARD "HARBOR BLUE"



GUTTERS AND DOWNSPOUTS: PREFINISHED WHITE 5" K STYLE/ 2X3 DOWNSPOUTS



DOOR: "TANAGER RED"SHERWIN WILLIAMS "SW-6601"



TRIM: AZEK COMPOSITE TRIM (PAINTABLE: WHITE TO MATCH WINDOW SYSTEM)



WINDOWS: VINYL DOUBLE HUNG PELLA 250 (PELLA WHITE)



SEAL:

NOT FOR CONSTRUCTION

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07-24-2025

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08-20-2025

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todt - Watkins
Prototype Aging in Place Housing
to Accommodate:
Single Family Small Lot
Residence

6107 Ellen Avenue
Cleveland, Ohio

TITLE:

MATERIALS
6107 ELLEN AVENUE

ISSUE:

DATE:

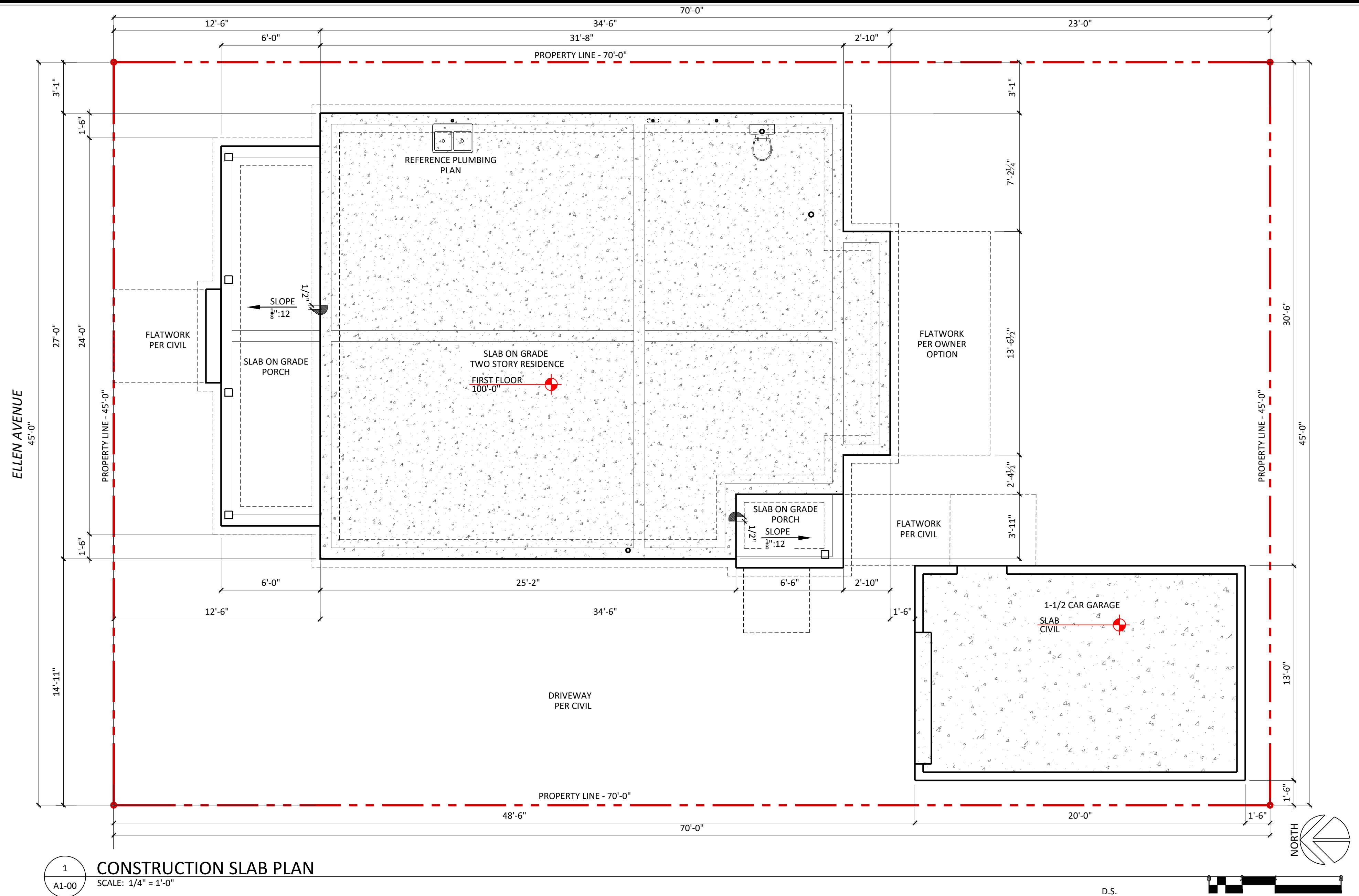
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RENDERING - SD003

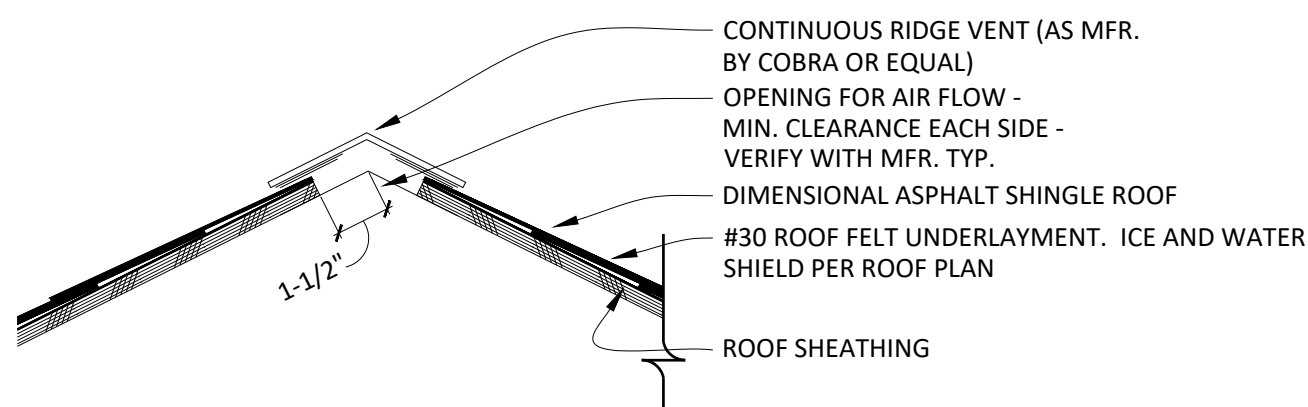


ROOF CONSTRUCTION GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CMU OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB. FACE OF EXTERIOR STUD ALIGNS TO FOUNDATION (SHEATHING LAPS CMU.)
- HIGH SLOPE ROOF NOTES: ALL SHINGLES TO BE INSTALLED PER MANUFACTURER'S STANDARD WRITTEN RECOMMENDATIONS, PROVIDE & INSTALL ALL REQUIRED RIDGE VENTS, FLASHINGS, VALLEY FLASHINGS, DRIP EDGES, UNDERLAYMENT, ETC. TO ACHIEVE MANUFACTURER'S WARRANTY, GENERAL CONTRACTOR & ROOFING CONTRACTOR TO VERIFY & COORDINATE WITH ROOF SHINGLE MANUFACTURER REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL EXPOSED METAL FLASHING, COUNTERFLASHING, DRIP EDGES, GUTTERS, DOWNSPOUTS, AND ASSOCIATED TRIM COMPONENTS TO BE PREFINISHED ALUMINUM. COLOR TO MATCH ADJACENT TRIM PER OWNER'S SELECTION.
- VENTILATION CALCULATIONS:
ATTIC AREA: 107,539 SQ IN (746.8 SQ FT)
REQUIRED VENTILATION: 107,539 / 300 = 358 SQ IN
VENTILATION PROVIDED:
RIDGE VENTING:
36.8 FT RIDGE X 18 SQ IN FREE VENTING PER LINEAR FOOT = 662 SQ IN > 358 / 2 (179)
(COBRA 3" RIGID VENT BASIS OF DESIGN)
SOFFIT VENTING:
76.4 LF X 0.31 FT X 8 IN FREE AREA / FT = 189.4 IN SQ > 358 / 2 (179) REQUIRED
(CERTAINTED VINYL CARPENTRY TRIPLE 3-1/3" SOLID AND INVISIVENT SUPER VENTILATED SOFFIT - BASIS OF DESIGN)

- CONTINUOUS RIDGE VENT: 18 SQ IN NFA PER LINEAR FOOT
- GABLE VENT
- SOFFIT VENT: AREA OF VENTILATED VINYL SOFFIT (10 SQ IN PER SF NFA)
- MECHANICAL/PLUMBING VENT
- GAS FIREPLACE B-VENT
- 2X3 DOWNSPOUT TO MATCH GUTTER
- VALLEY SPLASHGUARD TO MATCH GUTTER

PROPOSED NEW ROOF CONSTRUCTION:
DIMENSIONAL ASPHALT SHINGLE ROOF OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION AS ILLUSTRATED (MIN 24" FROM INTERIOR SIDE OF WALL) OVER 1/2" MIN. ROOF SHEATHING (CONTINUOUSLY SHEATHED WITH EDGE CLIPS AS REQUIRED) OVER PREMANUFACTURED ROOF TRUSSES OR 2x RAFTERS. PROVIDE & INSTALL ALL REQUIRED EDGE, HEAD, RIDGE & VALLEY FLASHINGS TO ACHIEVE MFR'S STANDARD WARRANTY.



2 CONSTRUCTION ROOF PLAN SCALE: 1/4" = 1'-0"

SEAL:

NOT FOR CONSTRUCTION

DATE:

07-24-2025

ISSUED:

Issued for Review

Issued for Review 2

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todd - Watkins

Prototype Aging in Place Housing
to Accommodate:

Single Family Small Lot
Residence

6107 Ellen Avenue
Cleveland, Ohio

TITLE:

CONSTRUCTION SLAB
AND ROOF PLAN

ISSUE:

DATE:

08.20.2025

SHEET:

A1-00

CONSTRUCTION GENERAL NOTES

DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CONCRETE OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB. FACE OF EXTERIOR SHEATHING ALIGNS TO FOUNDATION.

1. REGARDING TYPICAL INTERIOR WALL CONSTRUCTION:

===== -TYPICAL INTERIOR WALL AS NOTED

===== -TYPICAL INTERIOR WALL WITH SOUND BATT OR THERMAL INSULATION

===== -TYPICAL INTERIOR PARTIAL HEIGHT WALL

2. REFER TO DOOR SCHEDULE FOR ALL DOOR TAGS.

3. ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

4. ALL WINDOW ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO PRICING & FABRICATION. ALSO REFER TO WINDOW SCHEDULE AND APPROVED SHOP DRAWINGS FOR ADDITIONAL INFO.

5. REFER TO SHEET A4-00 FOR EXTERIOR FINISH LEGEND & ADDITIONAL INFORMATION.

6. ALL RECEPTACLES AND TELEPHONE OUTLETS SHALL NOT BE MOUNTED BACK TO BACK. ALL OUTLETS SHOWN GROUPED TOGETHER SHALL NOT BE MORE THAN 5" APART AND SHALL BE SPACED EQUALLY. ALL SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISHED FLOOR AND ALL ELECTRICAL RECEPTACLES SHALL BE 1'-6" AFF UNLESS NOTED OTHERWISE. ALL COVER PLATE MATERIAL/FINISH TO BE COORDINATED WITH ARCHITECT U.N.O. WHERE MULTIPLE WALL SWITCHES OCCUR, SWITCHES ARE TO BE GANGED AND COVERED WITH A SINGLE CONTINUOUS COVER PLATE. COVER PLATED SHALL NOT BE CUT AND BUTTED TOGETHER.

10. ALL INTERIOR WALLS ARE TYPE "A" UNLESS NOTED OTHERWISE TO BE CONSTRUCTED OF NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EACH SIDE. (4-1/2" WIDTH)

10.1. USE MOISTURE RESISTANT GYP. BOARD AT ALL POTENTIAL WET LOCATIONS.

10.2. USE CEMENT BACKER BOARD AT ALL LOCATIONS SCHEDULED TO RECEIVE TILE FINISH. TYPICAL UNLESS OTHERWISE NOTED.

10.3. TYPE "A2": CHASE WALL-NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (4" WIDTH)

10.4. TYPE "A3": CONCRETE FURROUT-FLAT 2X4 STUD ON VAPOR BARRIER OVER CMU WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (2" WIDTH)

10.5. TYPE "A4": PLUMBING CHASE WALL. SAME AS "A", BUT WITH 2X6 NOMINAL STUDS

10.6. TYPE "A5": FLAT STUD WALL

11. ALL EXTERIOR WALL CONSTRUCTION IS TYPE "B" UNLESS OTHERWISE NOTED AND TO BE 1/2" EXTERIOR RATED WOOD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) & WEATHER BARRIER OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. ALL WALL COMPONENTS TO BE AS FOLLOWS:

11.1. EXTERIOR CLADDING: REFER TO ELEVATIONS

11.2. WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF SHEATHING

11.3. CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD

11.4. VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.

11.5. TYPE B1: SAME AS TYPE B ABOVE BUT WITH 2X4 NOM WOOD STUDS AND NO INSULATION.

12. ONE HOUR FIRE RATED EXTERIOR WALL CONSTRUCTION IS TYPE "C" AND KEYNOTED IF APPLICABLE AND TO BE 5/8" DENSGLASS FIREGUARD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. PROVIDE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD ON INTERIOR FACE OF STUD PER UL ASSEMBLY #U305. REFERENCE APPLICABLE WALL SECTIONS. ALL WALL COMPONENTS TO BE AS FOLLOWS:

12.1. EXTERIOR CLADDING: REFER TO ELEVATIONS

12.2. WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF DENSGLASS SHEATHING

12.3. CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD

12.4. VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.

12.5. TYPE C1: SAME AS TYPE C ABOVE BUT WITH 2X4 NOM WOOD STUDS AND NO INSULATION.

FINISH GENERAL NOTES

ALL OPEN CEILING AREAS ARE TO BE PAINTED PT-0, TYP.

ALL FINISHES ARE TO BE SELECTED BELOW BY OWNER WITH ARCHITECTURAL APPROVAL. IF FINISH IS TBD OR UNKNOWN AT PRICING, PROVIDE A UNIT ALLOWANCE FOR THE MATERIAL AT MEDIUM LEVEL GRADE. ANY PROPOSED SUBSTITUTIONS TO SPECIFIED MATERIALS ARE TO BE SUBMITTED WITH ARCH. PROVIDED SUBSTITUTION FORM AND WILL BE EVALUATED BY OWNER & ARCHITECT. ALL FINISHES ARE TO BE INSTALLED PER MFR'S WRITTEN INSTRUCTIONS AND ALL SUBSTRATES ARE TO BE CLEANED & PREPARED

WD -PAINTED WOOD BASE/TRIM

- MFR.: -
- STYLE: FLAT STOCK, EASED EDGE PINE/MDF
- SIZE: 1/2 x 3 1/2
- COLOR/FINISH: - PAINTED
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS
- NO FINGER JOINTED TRIM

LVT-1 -LUXURY VINYL TILE

- MFR.: ARMSSTRONG OR OTHER APPROVED MANUFACTURER
- STYLE: FLOAT OR FULL ADHESIVE
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH FINISH OPTIONS PER OWNER
- NOTE: VERIFY UPGRADE FINISHING WITH OWNER

PT-0 -PAINT (CEILING WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-1 -PAINT (WALL FIELD WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-2 -PAINT (TRIM WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

AS REQUIRED.
ALL CLOSETS ARE TO BE FINISHED SIMILARLY TO THE ROOM THEY ARE LOCATED.

FINISH DESIGNATION TAG IS AS FOLLOWS:

COLUMN 1: ROOM COMPONENT
COLUMN 2: MATERIAL INFO
COLUMN 3: FINISH INFO

FLOOR:	WD	ST
BASE:	WD	ST
WALLS:	GYP BD	PT
CEILING:	GYP BD	PT

HW-1 -ENGINEERED HARDWOOD

- MFR.: -
- STYLE: STRIP
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH OPTIONS PER OWNER
- NOTE: PROVIDE VAPOR BARRIER. VERIFY UPGRADE FINISHING WITH OWNER

CT-1 -CERAMIC TILE

- MFR.: TBD
- STYLE: TBD
- SIZE: - N/A
- COLOR/FINISH: - FINISH OPTIONS PER OWNER
- NOTE: VERIFY UPGRADE FINISHING WITH OWNER

CPT-1 -CARPET

- MFR.: -
- STYLE: LOOP
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH OPTIONS PER OWNER
- NOTE: PROVIDE PADDING. VERIFY UPGRADE FINISHING WITH OWNER

GROUND FLOOR LEVEL

CONSTRUCTION FLOOR PLAN

SCALE: 1/4" = 1'-0"

1
A1-01

ALL OPEN CEILING AREAS ARE TO BE PAINTED PT-0, TYP.

ALL FINISHES ARE TO BE SELECTED BELOW BY OWNER WITH ARCHITECTURAL APPROVAL. IF FINISH IS TBD OR UNKNOWN AT PRICING, PROVIDE A UNIT ALLOWANCE FOR THE MATERIAL AT MEDIUM LEVEL GRADE. ANY PROPOSED SUBSTITUTIONS TO SPECIFIED MATERIALS ARE TO BE SUBMITTED WITH ARCH. PROVIDED SUBSTITUTION FORM AND WILL BE EVALUATED BY OWNER & ARCHITECT. ALL FINISHES ARE TO BE INSTALLED PER MFR'S WRITTEN INSTRUCTIONS AND ALL SUBSTRATES ARE TO BE CLEANED & PREPARED

FINISH DESIGNATION TAG IS AS FOLLOWS:

COLUMN 1: ROOM COMPONENT

COLUMN 2: MATERIAL INFO

COLUMN 3: FINISH INFO

FLOOR:	WD	ST
BASE:	WD	ST
WALLS:	GYP BD	PT
CEILING:	GYP BD	PT

WD -PAINTED WOOD BASE/TRIM

- MFR.: -
- STYLE: FLAT STOCK, EASED EDGE PINE/MDF
- SIZE: 1/2 x 3 1/2
- COLOR/FINISH: - PAINTED
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS
- NO FINGER JOINTED TRIM

LVT-1 -LUXURY VINYL TILE

- MFR.: ARMSSTRONG OR OTHER APPROVED MANUFACTURER
- STYLE: FLOAT OR FULL ADHESIVE
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH FINISH OPTIONS PER OWNER
- NOTE: VERIFY UPGRADE FINISHING WITH OWNER

PT-0 -PAINT (CEILING WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-1 -PAINT (WALL FIELD WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-2 -PAINT (TRIM WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

SECOND FLOOR LEVEL

CONSTRUCTION FLOOR PLAN

SCALE: 1/4" = 1'-0"

2
A1-01

ALL OPEN CEILING AREAS ARE TO BE PAINTED PT-0, TYP.

ALL FINISHES ARE TO BE SELECTED BELOW BY OWNER WITH ARCHITECTURAL APPROVAL. IF FINISH IS TBD OR UNKNOWN AT PRICING, PROVIDE A UNIT ALLOWANCE FOR THE MATERIAL AT MEDIUM LEVEL GRADE. ANY PROPOSED SUBSTITUTIONS TO SPECIFIED MATERIALS ARE TO BE SUBMITTED WITH ARCH. PROVIDED SUBSTITUTION FORM AND WILL BE EVALUATED BY OWNER & ARCHITECT. ALL FINISHES ARE TO BE INSTALLED PER MFR'S WRITTEN INSTRUCTIONS AND ALL SUBSTRATES ARE TO BE CLEANED & PREPARED

FINISH DESIGNATION TAG IS AS FOLLOWS:

COLUMN 1: ROOM COMPONENT

COLUMN 2: MATERIAL INFO

COLUMN 3: FINISH INFO

FLOOR:	WD	ST
BASE:	WD	ST
WALLS:	GYP BD	PT
CEILING:	GYP BD	PT

WD -PAINTED WOOD BASE/TRIM

- MFR.: -
- STYLE: FLAT STOCK, EASED EDGE PINE/MDF
- SIZE: 1/2 x 3 1/2
- COLOR/FINISH: - PAINTED
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS
- NO FINGER JOINTED TRIM

LVT-1 -LUXURY VINYL TILE

- MFR.: ARMSSTRONG OR OTHER APPROVED MANUFACTURER
- STYLE: FLOAT OR FULL ADHESIVE
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH FINISH OPTIONS PER OWNER
- NOTE: VERIFY UPGRADE FINISHING WITH OWNER

PT-0 -PAINT (CEILING WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-1 -PAINT (WALL FIELD WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-2 -PAINT (TRIM WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

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- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

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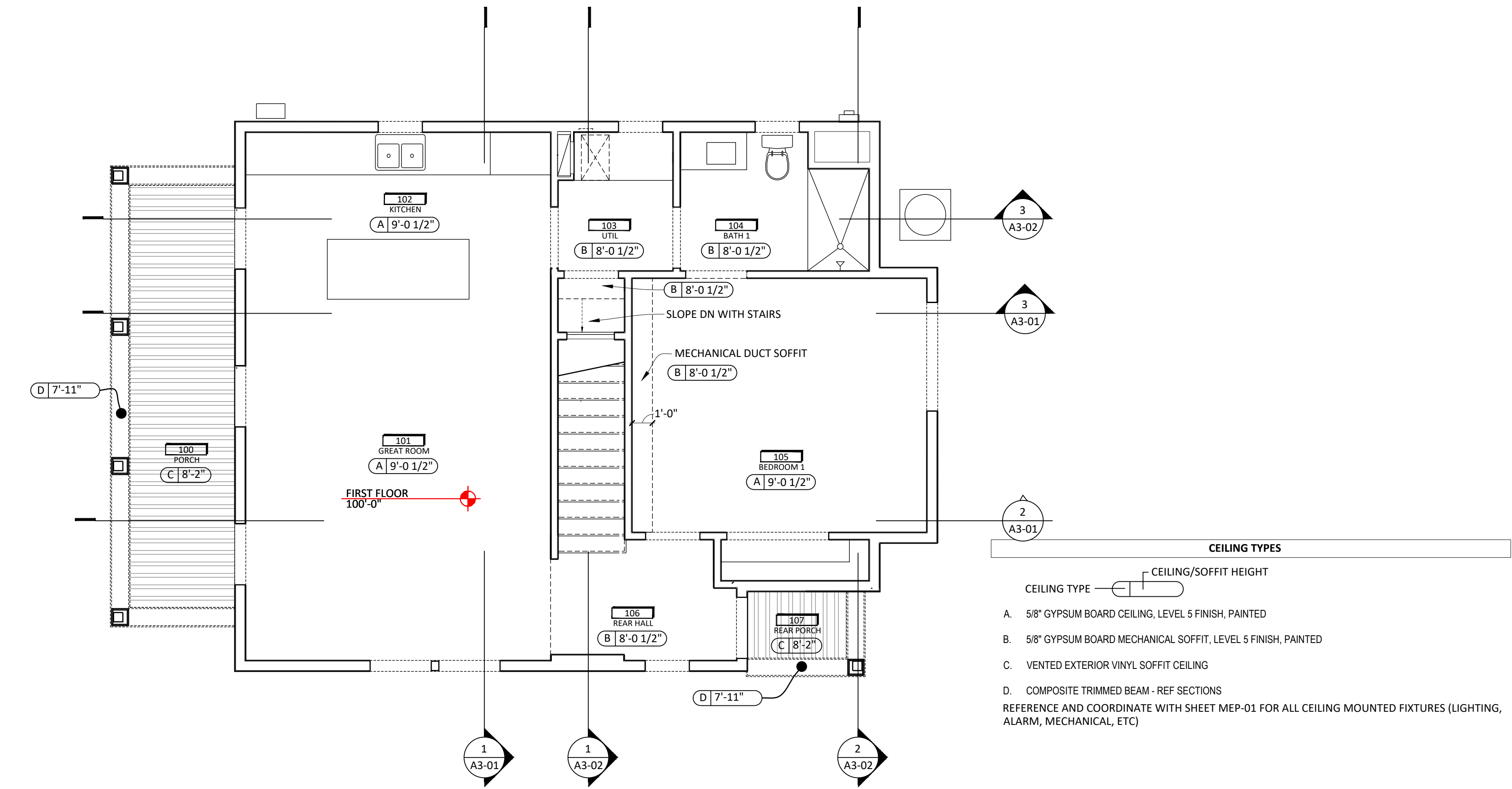
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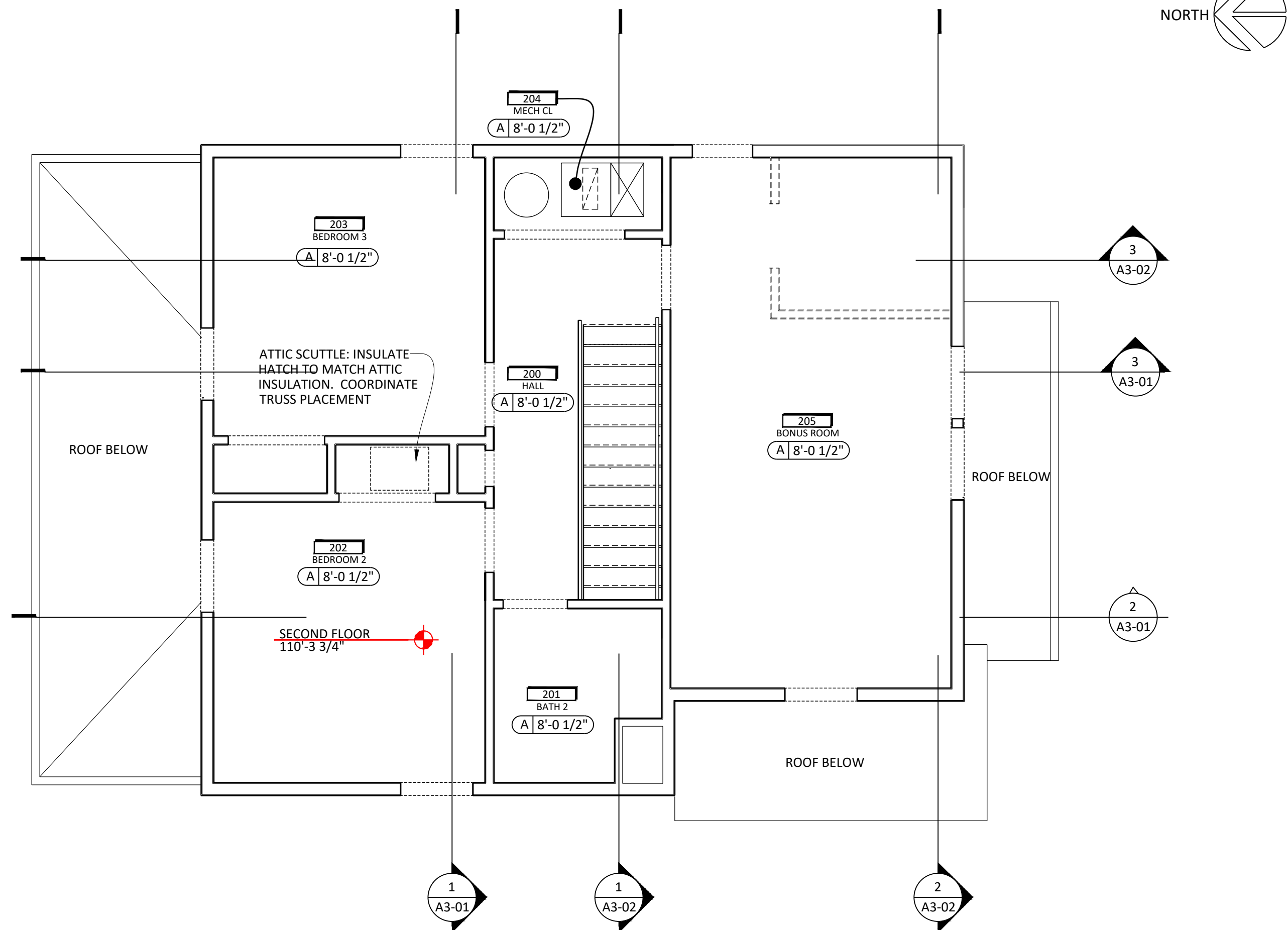
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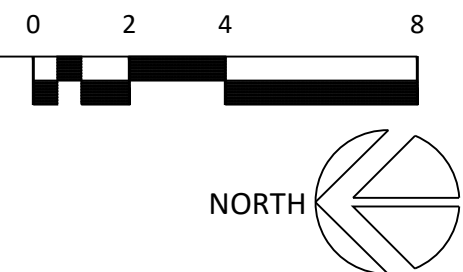


1
A1-02
GROUND FLOOR
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- CEILING TYPES
- | CEILING TYPE | CEILING/SOFFIT HEIGHT |
|---|-----------------------|
| A. 5/8" GYPSUM BOARD CEILING, LEVEL 5 FINISH, PAINTED | |
| B. 5/8" GYPSUM BOARD MECHANICAL SOFFIT, LEVEL 5 FINISH, PAINTED | |
| C. VENTED EXTERIOR VINYL SOFFIT CEILING | |
| D. COMPOSITE TRIMMED BEAM - REF SECTIONS | |
- REFERENCE AND COORDINATE WITH SHEET MEP-01 FOR ALL CEILING MOUNTED FIXTURES (LIGHTING, ALARM, MECHANICAL, ETC)



2
A1-02
SECOND FLOOR
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



SEAL:

NOT FOR CONSTRUCTION

ISSUED:	DATE:
Issued for Review	07-24-2025
Issued for Review 2	08-20-2025

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todt - Watkins
*Prototype Aging in Place Housing
to Accommodate:*
**Single Family Small Lot
Residence**

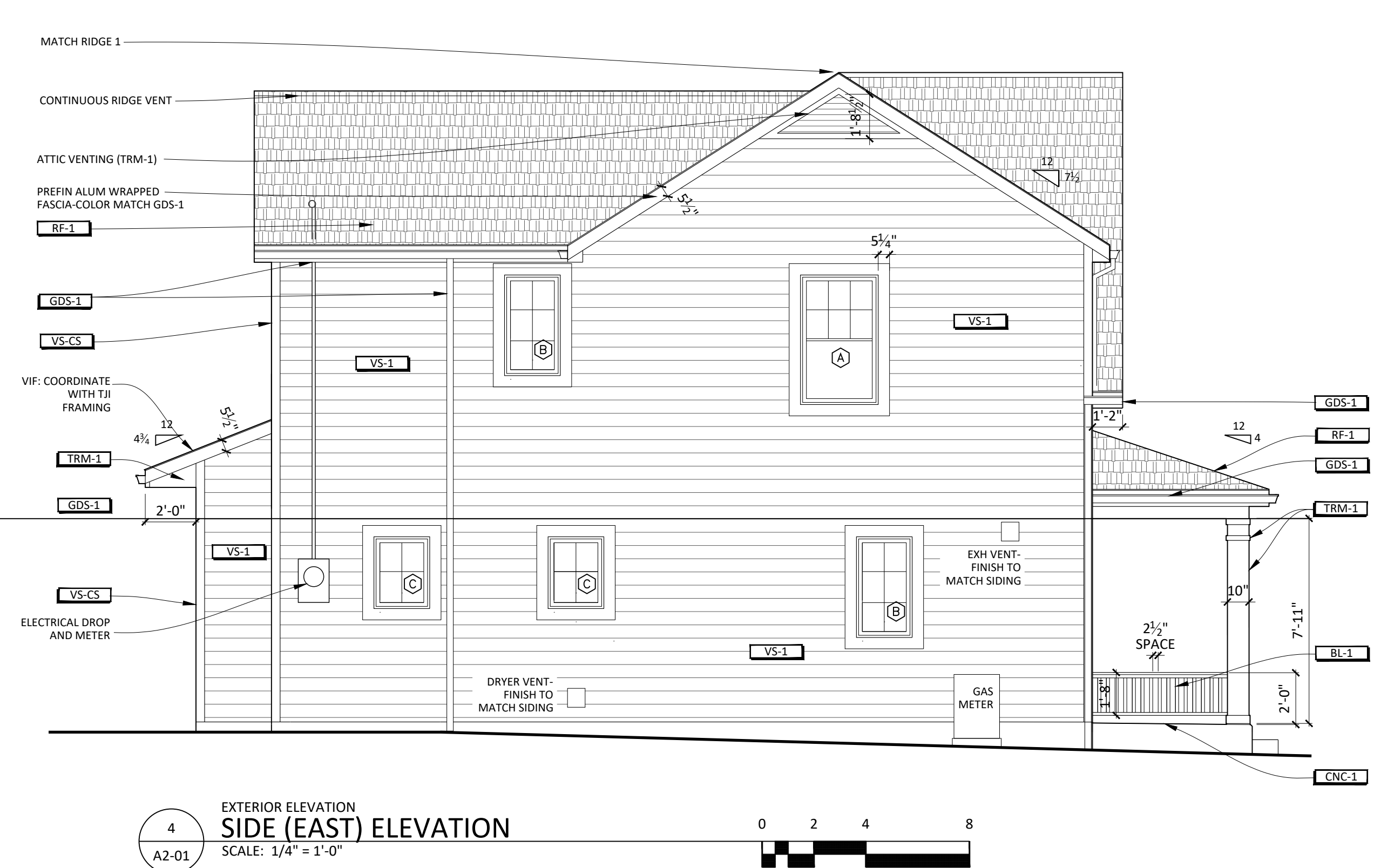
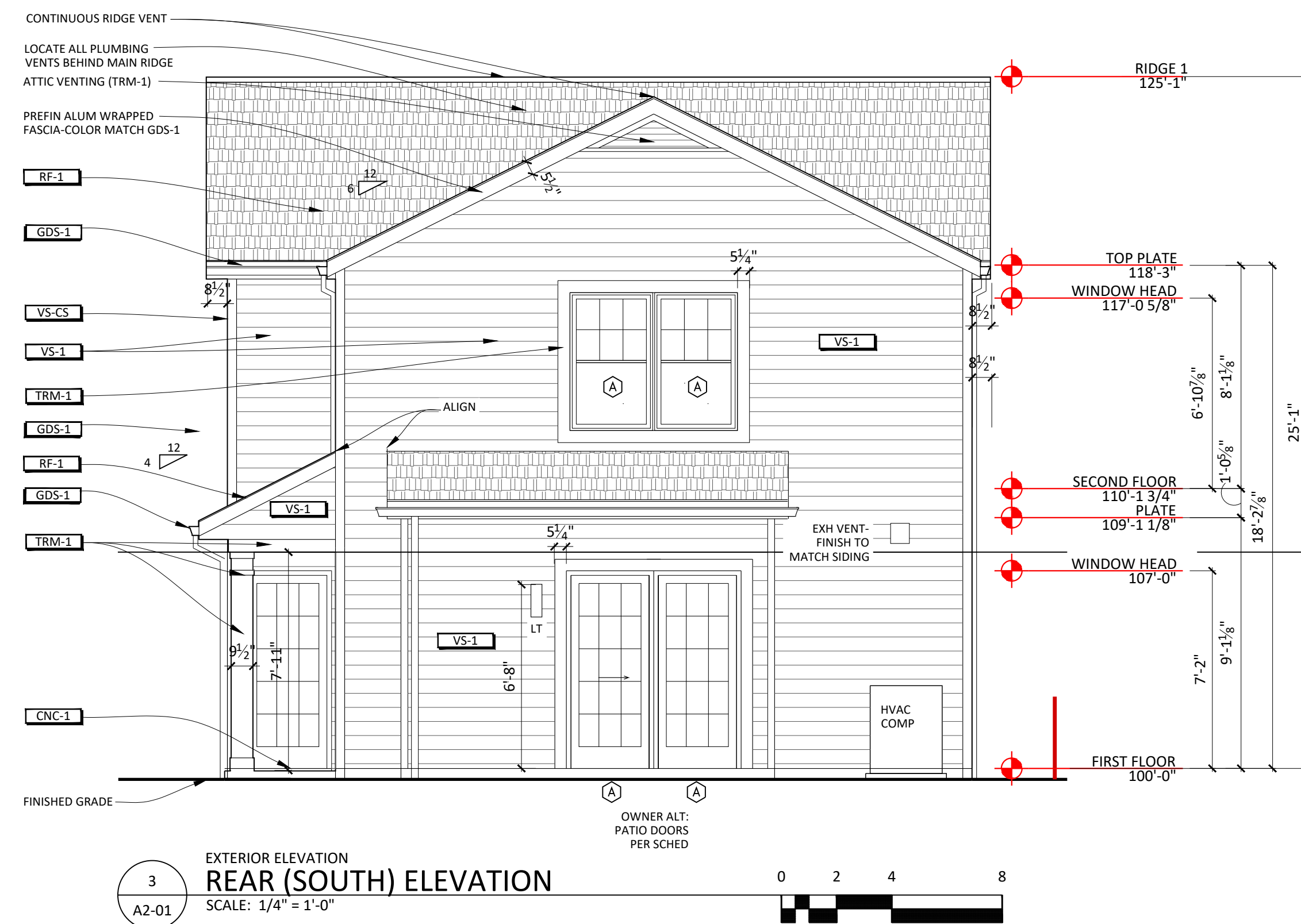
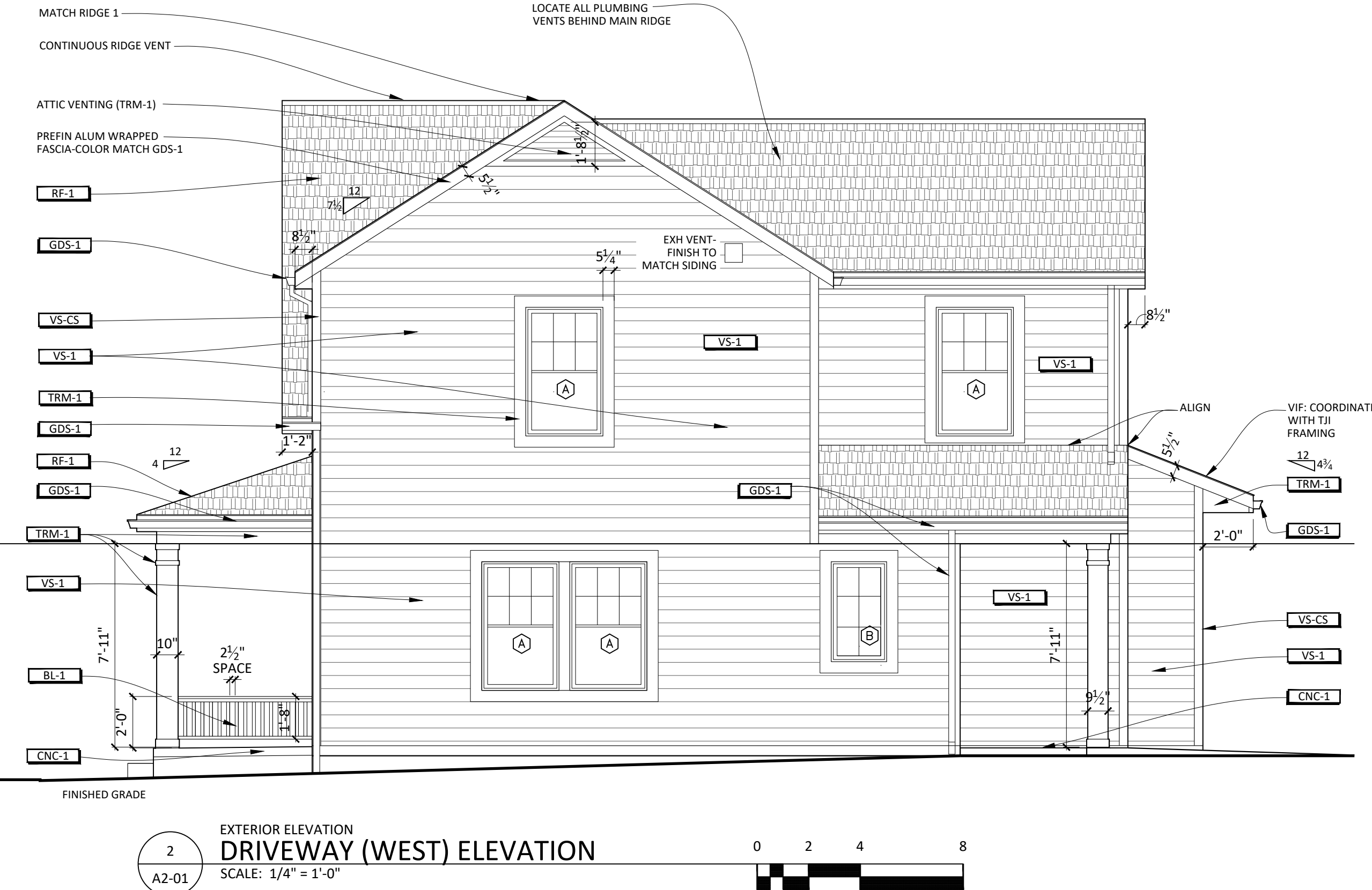
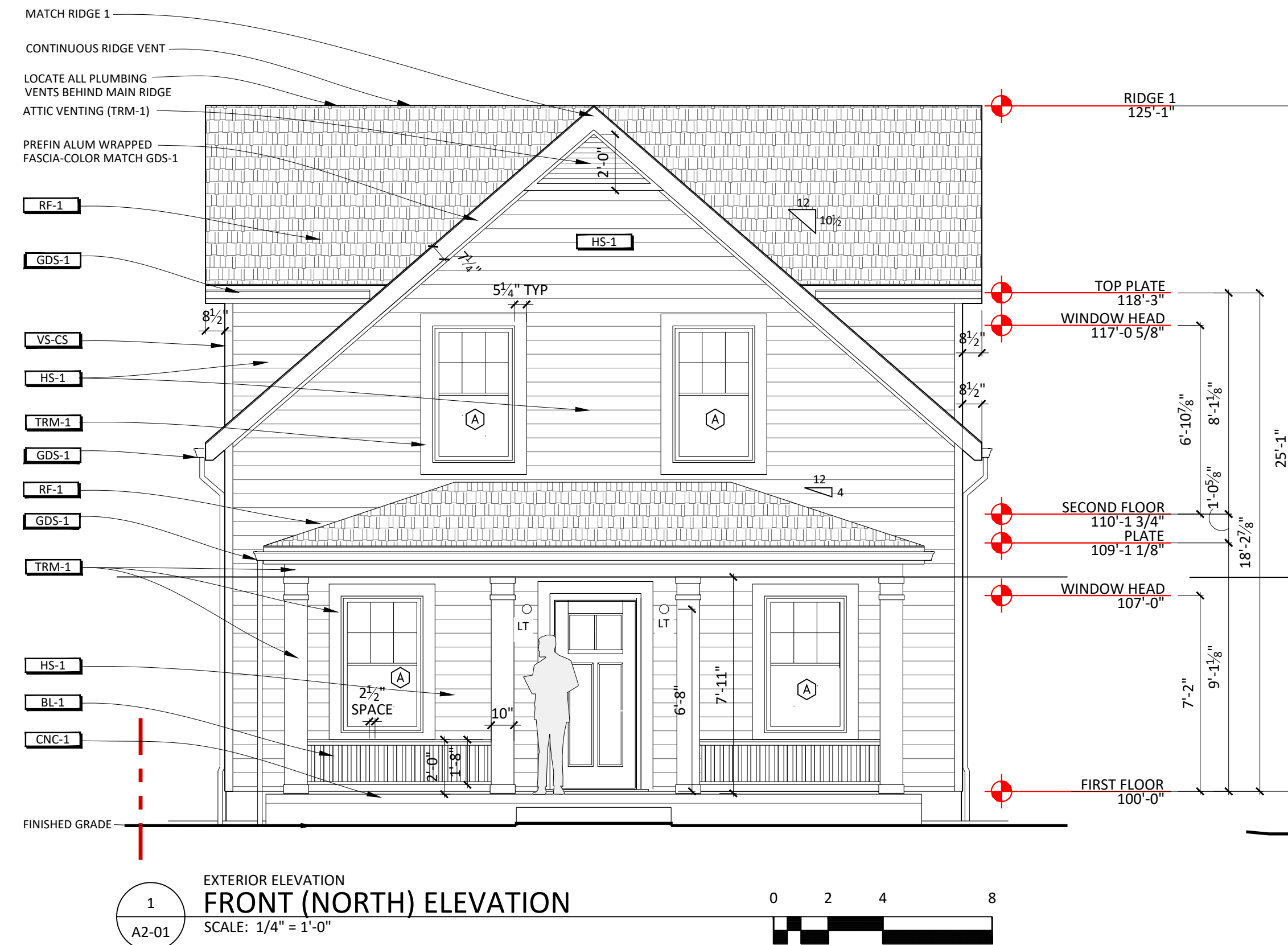
6107 Ellen Avenue
Cleveland, Ohio

TITLE:
REFLECTED CEILING
PLAN

ISSUE: DATE:
08.20.2025

SHEET:
A1-02

- EXTERIOR FINISH LEGEND**
- RF-1 - DIMENSIONAL ASPHALT SHINGLE**
-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)
-STYLE: TBO
-COLOR: PER MATERIALS SHEET T0-01 (CHARCOAL GRAY)
-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- RF-2 - MEMBRANE ROOFING**
-TYPE.: EPDM OR TPO (OR APPROVED EQUAL)
-STYLE: SINGLE PLY 60 MIL
-COLOR: COOL ROOF RATED
-NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- VS-1 - VINYL SIDING-CLAPBOARD**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 5" CLAPBOARD
-COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-01 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-2 - VINYL SIDING-CLAPBOARD ACCENT - N/A**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 4" CLAPBOARD
-COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-02 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-CS - VINYL SIDING CORNER BOARD**
-MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL)
-STYLE: 1-1/4" TRADITIONAL SUPERCORNER
-COLOR: WHITE TO MATCH TRIM
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- HS-1 - CEMENT FIBERBOARD SIDING-CLAPBOARD**
-MFR.: JAMES HARDIE (OR APPROVED EQUAL)
-STYLE: 5" CLAPBOARD
-COLOR: PRIMED-FIELD PAINT TO MATCH HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-01 MATERIALS
-NOTE: ALIGN INSTALLATION TO MATCH EXPOSURE OF VINYL SIDING AT ADJOINING ELEVATIONS. INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- TRM-1 - PAINTED TRIM**
-MFR.: AZEK OR PER APPROVED SUBMITTAL
-STYLE: SMOOTH FINISH
-COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
- GDS-1 - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT
-COLOR: PREFINISHED WHITE (PER OWNER). REFERENCE SHEET T0-01 MATERIALS.
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- CNC-1 - CONCRETE SLAB ON GRADE**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH
-COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING
-NOTE: AIR ENTRAINED AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB
- BL-1 - BALLUSTRADE**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: COMPOSITE SYSTEM COMPONENTS-BOTTOM RAIL AND TOP RAIL; 2X2 COMPOSITE PICKETS
-COLOR: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
-NOTE: REF ELEVATIONS FOR CUSTOM RAIL HEIGHT. PROVIDE MIN 2X6 NOM TOP RAIL; CLEAR OPEN SPACE: 2-1/2"



SEAL:

NOT FOR CONSTRUCTION

DATE: 07.24.2025
08.20.2025

ISSUED: 07.24.2025
08.20.2025

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todd - Watkins
Prototype Aging in Place Housing
to Accommodate:
**Single Family Small Lot
Residence**

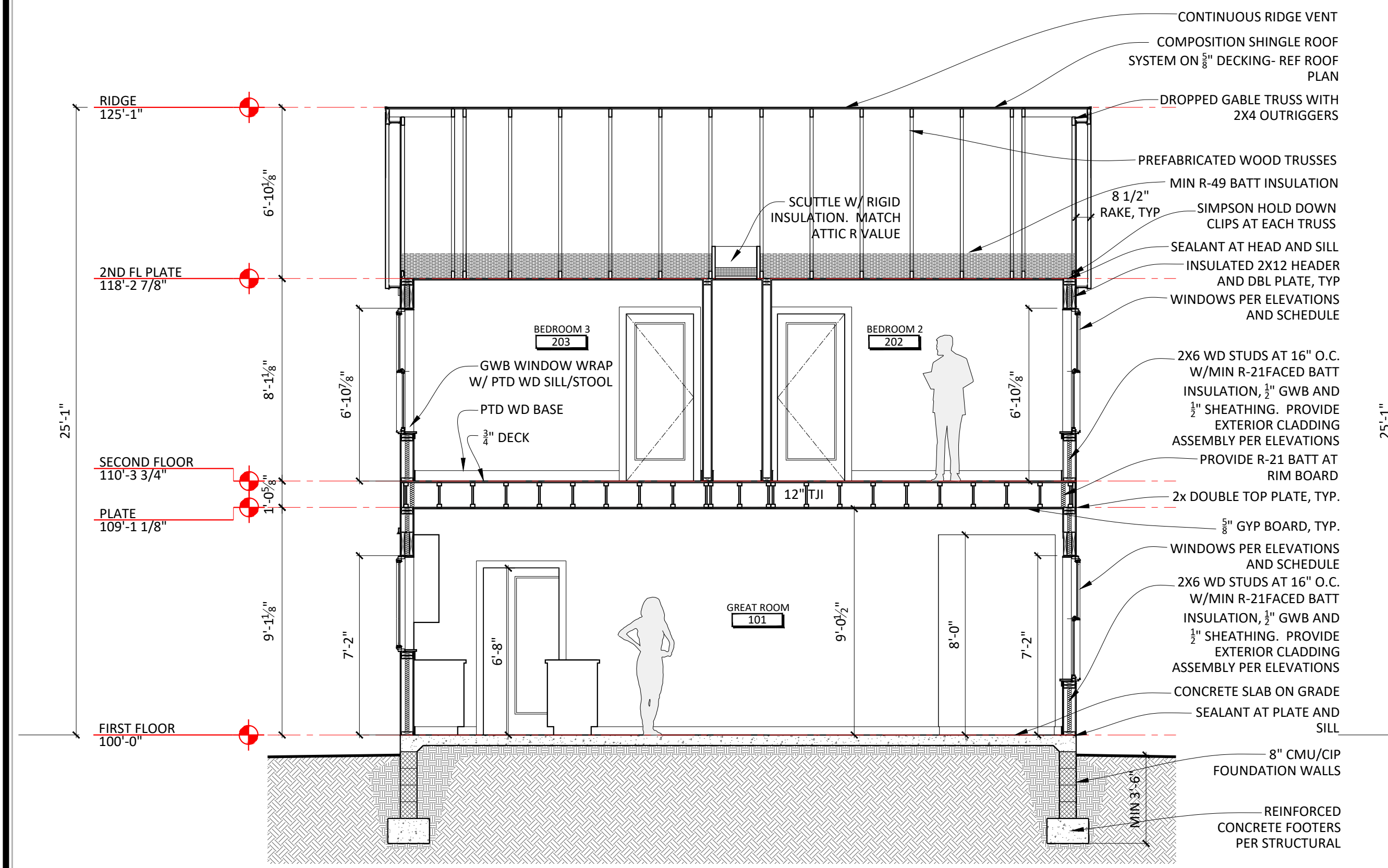
6107 Ellen Avenue
Cleveland, Ohio

TITLE:
ELEVATIONS

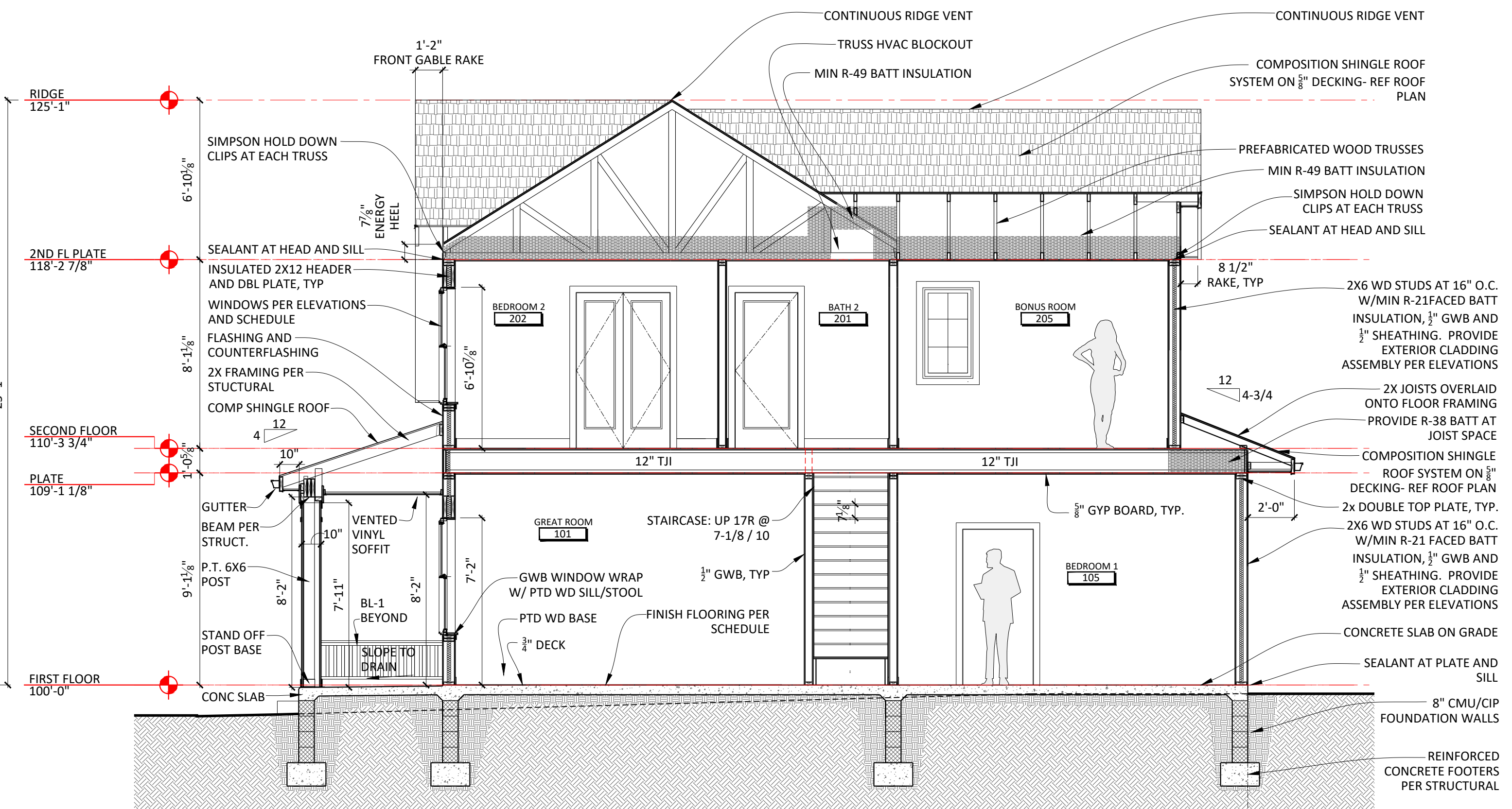
ISSUE: 08.20.2025

SHEET:

A2-01



CROSS SECTION AT GREAT ROOM
SCALE: 1/4" = 1'-0"



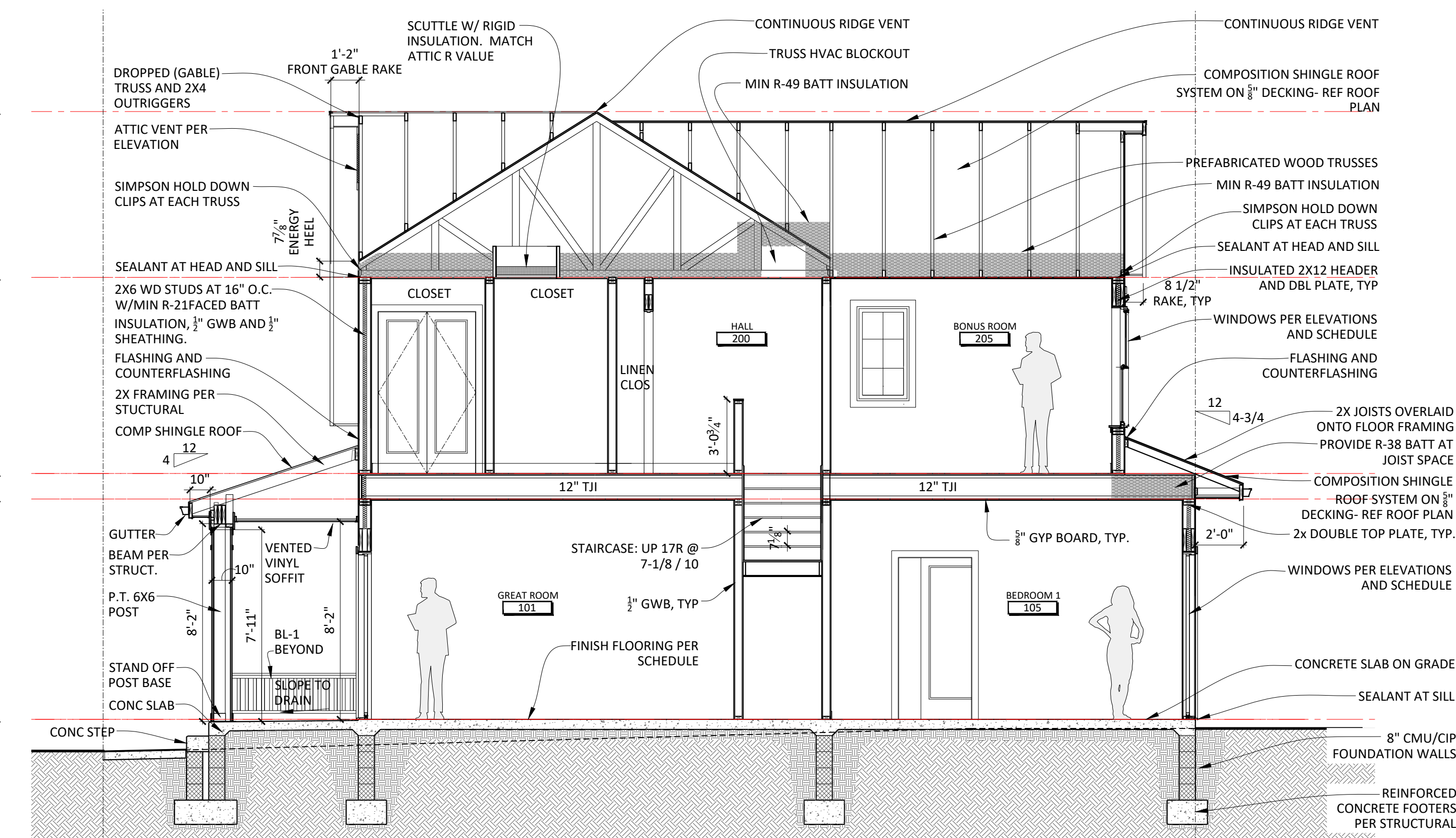
LONG SECTION AT GREAT ROOM
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

- RF-1 - DIMENSIONAL ASPHALT SHINGLE**
-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)
-STYLE: TBD
-COLOR: PER MATERIALS SHEET T0-01 (CHARCOAL GRAY)
-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- RF-2 - MEMBRANE ROOFING**
-TYPE: EPDM OR TPO (OR APPROVED EQUAL)
-STYLE: SINGLE PLY 60 MIL
-COLOR: COOL ROOF RATED
-NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- VS-1 - VINYL SIDING-CLAPBOARD**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 5" CLAPBOARD
-COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-01 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-2 - VINYL SIDING-CLAPBOARD ACCENT - N/A**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 4" CLAPBOARD
-COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-02 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-ES - VINYL SIDING CORNER BOARD**
-MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL)
-STYLE: 1-1/4" TRADITIONAL SUPERCORNER
-COLOR: WHITE TO MATCH TRIM
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- HS-1 - CEMENT FIBERBOARD SIDING-CLAPBOARD**
-MFR.: JAMES HARDIE (OR APPROVED EQUAL)
-STYLE: 5" CLAPBOARD
-COLOR: PRIMED-FIELD PAINT TO MATCH HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-01 MATERIALS
-NOTE: ALIGN INSTALLATION TO MATCH EXPOSURE OF VINYL SIDING AT ADJOINING ELEVATIONS. INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- TRM-1 - PAINTED TRIM**
-MFR.: AZEK OR PER APPROVED SUBMITTAL
-STYLE: SMOOTH FINISH
-COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
- GDS-1 - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT
-COLOR: PREFINISHED WHITE (PER OWNER). REFERENCE SHEET T0-01 MATERIALS.
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY

CONSTRUCTION GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CONCRETE OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB. FACE OF EXTERIOR SHEATHING ALIGNS TO FOUNDATION.
- ALL INTERIOR WALLS ARE **TYPE "A"** UNLESS NOTED OTHERWISE TO BE CONSTRUCTED OF NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EACH SIDE. (4-1/2" WIDTH)
1.1. USE MOISTURE RESISTANT GYP. BOARD AT ALL POTENTIAL WET LOCATIONS.
1.2. USE CEMENT BACKER BOARD AT ALL LOCATIONS SCHEDULED TO RECEIVE TILE FINISH. TYPICAL UNLESS OTHERWISE NOTED.
1.3. **TYPE "A2"**: CHASE WALL-NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (4" WIDTH)
1.4. **TYPE "A3"**: CONCRETE FURROUT-FLAT 2X4 STUD ON VAPOR BARRIER OVER CMU WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (2" WIDTH)
 - ALL EXTERIOR WALL CONSTRUCTION IS **TYPE "B"** UNLESS OTHERWISE NOTED AND TO BE 1/2" EXTERIOR RATED WOOD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) & WEATHER BARRIER OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. ALL WALL COMPONENTS TO BE AS FOLLOWS:
2.1. EXTERIOR CLADDING: REFER TO ELEVATIONS
2.2. WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF SHEATHING
2.3. CAVITY INSULATION: FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD SPACING
2.4. VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.
 - ONE HOUR FIRE RATED EXTERIOR WALL CONSTRUCTION IS **TYPE "C"** AND KEYNOTED IF APPLICABLE AND TO BE 5/8" DENSGLASS FIREGUARD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. PROVIDE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD ON INTERIOR FACE OF STUD PER UL ASSEMBLY #H305. REFERENCE APPLICABLE WALL SECTIONS. ALL WALL COMPONENTS TO BE AS FOLLOWS:
3.1. EXTERIOR CLADDING: REFER TO ELEVATIONS
3.2. WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF DENSGLASS SHEATHING
3.3. CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD SPACING
3.4. VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.
- CNC-1 - CONCRETE SLAB ON GRADE**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH
-COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING
-NOTE: AIR ENTRAINMENT AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB
- BL-1 - BALLUSTRADE**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: COMPOSITE SYSTEM COMPONENTS-BOTTOM RAIL AND TOP RAIL; 2X2 COMPOSITE PICKETS
-COLOR: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
-NOTE: REF ELEVATIONS FOR CUSTOM RAIL HEIGHT. PROVIDE MIN 2X6 NOM TOP RAIL; CLEAR OPEN SPACE: 2-1/2"



LONG SECTION AT GREAT ROOM 2
SCALE: 1/4" = 1'-0"

SEAL:

NOT FOR CONSTRUCTION

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07-24-2025

ISSUED:

Issued for Review

Issued for Review 2

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todd - Watkins

Prototype Aging in Place Housing
to Accommodate:

Single Family Small Lot
Residence

6107 Ellen Avenue
Cleveland, Ohio

TITLE:
SECTIONS

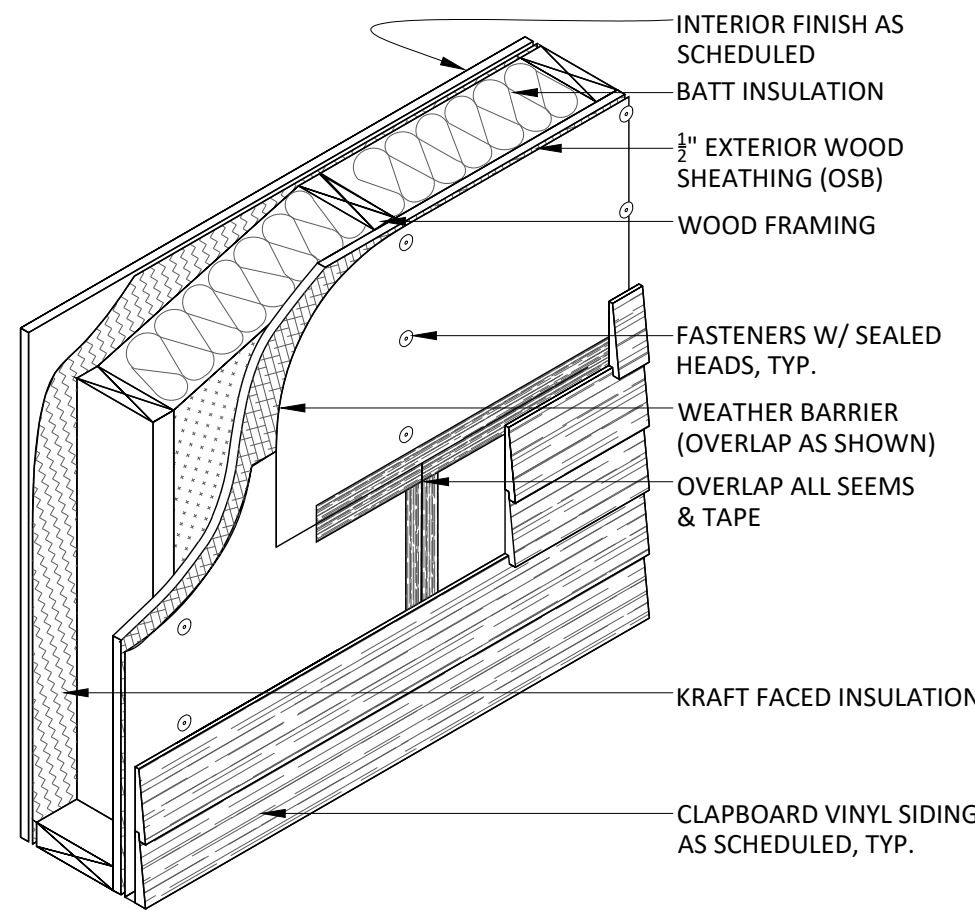
ISSUE: 08.20.2025

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A3-01

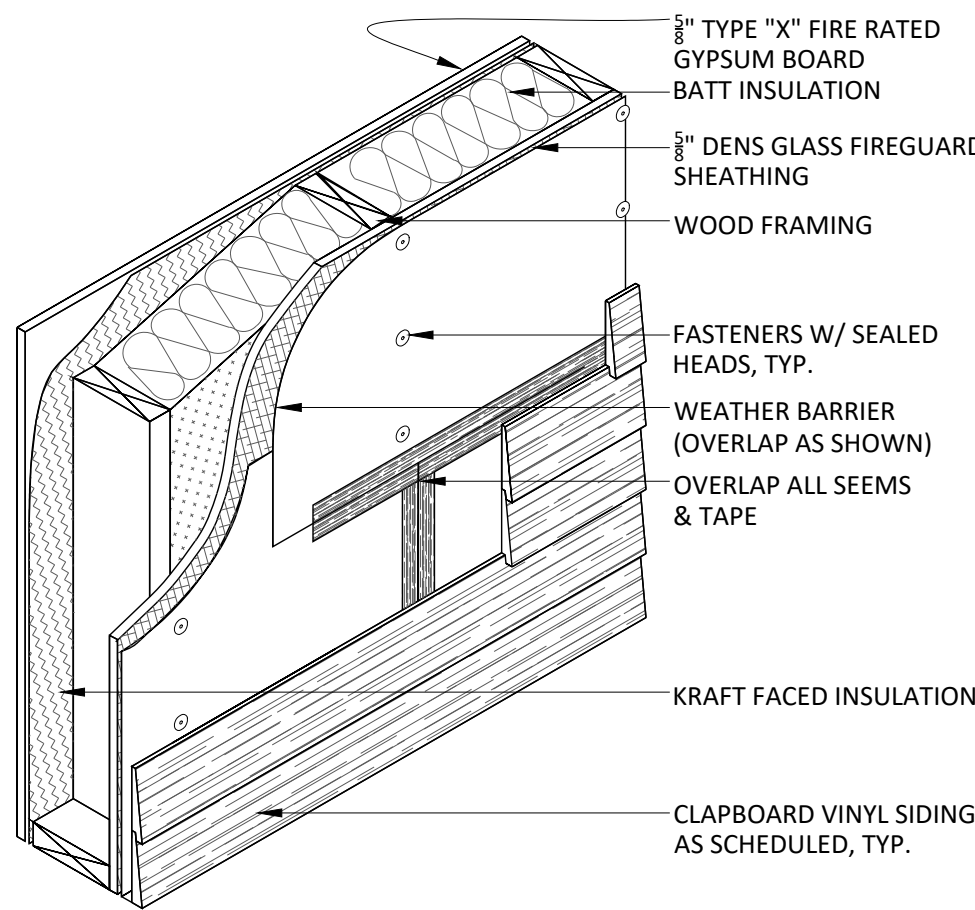
TYPICAL EXTERIOR WALL / ENCLOSURE ASSEMBLY - TYPE "B" NON RATED

GENERAL NOTES:
ALL EXTERIOR CLADDING AS SPECIFIED HERE IS TO BE INSTALLED OVER A CONTINUOUS WEATHER BARRIER DIRECTLY OVER 1/2" EXTERIOR WOOD SHEATHING OVER NOM. 2x6 WOOD STUD FRAMING @ 16" O.C. MAX. - TYPICAL U.O.N. ALL EXTERIOR DIMENSIONS ARE TO BE TAKEN FROM THE OUTSIDE FACE OF SHEATHING. EXTERIOR WALL COMPONENTS TO CONSIST OF THE FOLLOWING:
- WEATHER BARRIER: TYVEK 'HOUSE WRAP' AS MFR'D BY DUPONT OR EQUAL. INSTALLED HORIZONTALLY WITH OVERLAPPING SEAMS AND ALL JOINTS TAPED WITH MFR'S APPROVED PRODUCT. INSTALL WITH FASTENERS WITH PLASTIC WASHER HEADS SUCH AS TYVEK 'WRAP CAPS' OR EQUAL.
- CAVITY INSULATION: FACED BATT INSULATION FIT INTO STUD SPACE, (R-21 MIN.).
- WALL CLADDING: AS SPECIFIED - REFER TO ELEVATIONS & DETAILS



TYPICAL EXTERIOR WALL / ENCLOSURE ASSEMBLY - TYPE "C" ONE HOUR RATED

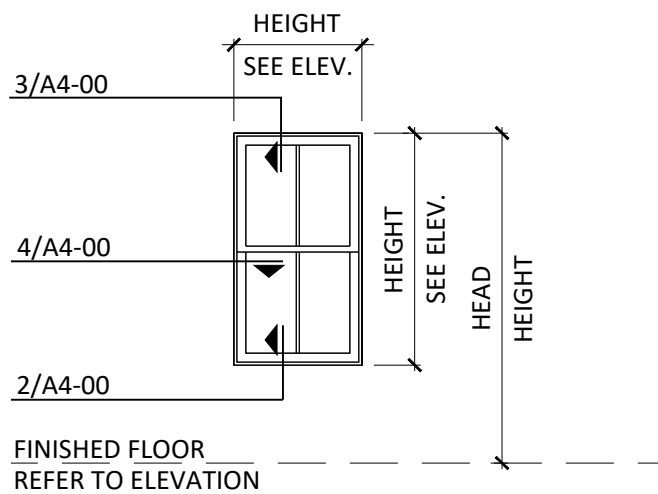
GENERAL NOTES:
ALL EXTERIOR CLADDING AS SPECIFIED HERE IS TO BE INSTALLED OVER A CONTINUOUS WEATHER BARRIER DIRECTLY OVER 1/2" DENSGLASS FIREGUARD SHEATHING OVER NOM. 2x6 WOOD STUD FRAMING @ 16" O.C. MAX. PROVIDE 1/2" TYPE "X" FIRE-RATED GYPSUM BOARD AT THE INTERIOR FACE OF STUD. ENSURE ASSEMBLY MEETS THE REQUIREMENTS OF UL ASSEMBLY U305 1 HOUR CONSTRUCTION- TYPICAL U.O.N. ALL EXTERIOR DIMENSIONS ARE TO BE TAKEN FROM THE OUTSIDE FACE OF SHEATHING. EXTERIOR WALL COMPONENTS TO CONSIST OF THE FOLLOWING:
- WEATHER BARRIER: TYVEK 'HOUSE WRAP' AS MFR'D BY DUPONT OR EQUAL. INSTALLED HORIZONTALLY WITH OVERLAPPING SEAMS AND ALL JOINTS TAPED WITH MFR'S APPROVED PRODUCT. INSTALL WITH FASTENERS WITH PLASTIC WASHER HEADS SUCH AS TYVEK 'WRAP CAPS' OR EQUAL.
- CAVITY INSULATION: FACED BATT INSULATION FIT INTO STUD SPACE, (R-21 MIN.).
- WALL CLADDING: AS SPECIFIED - REFER TO ELEVATIONS & DETAILS



WINDOW & GENERAL EXTERIOR NOTES

- GL-1** -PREFABRICATED WINDOW UNIT
-MFR.: JELD-WEN (OR APPROVED EQUAL)
-STYLE: **DOUBLE HUNG**
-COLOR: T.B.D.
-NOTE:
1. ALL WINDOWS TO BE VINYL, MANUFACTURED BY PELLA, JELD WEN, OR APPROVED EQUIVALENT. ALL GLAZING TO BE STANDARD 1" CLEAR INSULATED GLAZING, LOW EMISSIVITY COATING ON EXTERIOR LITE (#2 SURFACE) W/ ARGON FILLED CAVITY. MAX U VALUE = 0.29. SHGC: 0.26
2. ALL WINDOW ROUGH OPENINGS ARE TO BE FIELD VERIFIED PRIOR TO FABRICATION & INSTALLATION.
3. ALL WINDOWS TO BE INSTALLED PER THE MANUFACTURER'S STANDARD RECOMMENDATIONS. PREP ROUGH OPENINGS AS REQUIRED FOR INSTALLATION, INCLUDE SELF-ADHERING FLASHING, SEALANT, BACKER-ROD, ETC. AS REQUIRED & COORDINATE WITH WEATHER BARRIER INSTALLATION TO ENSURE THE PROPER OVERLAP OF WINDOW COMPONENTS.
4. SAFETY GLAZING **1** IS REQUIRED AT THE FOLLOWING LOCATIONS:
4.1. LOCATED WITHIN A DOOR OR 24" HORIZONTALLY FROM A DOOR
4.2. GLAZING IN SHOWERS, SAUNAS, ETC. WHERE THE BOTTOM EXPOSED EDGE IS LESS THEN 60" ABOVE THE DRAIN & 36" HORIZONTALLY FROM THE INSIDE EDGE OF THE TUB OR COMPARTMENT
4.3. EXPOSED AREA OR INDIVIDUAL PANE IS GREATER THAN 9 SF
4.4. BOTTOM EDGE IS LOCATED LESS THAN 18" ABOVE THE FLOOR
4.5. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR
4.6. ALL GLAZING IN RAILINGS

TYPICAL WINDOW UNIT ASSEMBLY



DASHED LINE INDICATES LOCATION OF CONTINUOUS WEATHER BARRIER TO OVERLAP TRIM, TYP.

SELF-ADHERED FLASHING @ PERIMETER OF OPENING (SUCH AS GRACE VYCOR OR EQUAL), TYP.
1x TRIM AS SCHEDULED
ALUM. TRIM & DRIP EDGE
PREFAB WINDOW NAILING FLANGE
PREFAB. WINDOW HEAD - SHIM AS REQUIRED
1" INSULATED GLAZING

1/2" TRIM @ PERIMETER, TYP.
EXTERIOR SHEATHING
DASHED LINE INDICATES LOCATION OF CONTINUOUS WEATHER BARRIER TO OVERLAP TRIM, TYP.
1x TRIM AS SCHEDULED
ALUM TRIM & DRIP EDGE

LOW-EXPANSION SPRAY FOAM INSULATION (CLOSED CELL) TO FILL VOID SPACE BETWEEN WINDOW ASSEMBLY & WALL ASSEMBLY

TYPICAL WINDOW HEAD SECTION DETAIL
SCALE: 3" = 1'-0"

3
A4-00

PREFAB. WINDOW SILL - SHIM AS REQUIRED
CONTINUOUS BEAD OF SEALANT & BACKER ROD, BOTH SIDES, TYP.
1x TRIM AS SCHEDULED
PREFAB WINDOW NAILING FLANGE
DASHED LINE INDICATES LOCATION OF CONTINUOUS WEATHER BARRIER TO TERMINATE IN OPENING UNDER SILL PAN FLASHING, TYP.

LOW-EXPANSION SPRAY FOAM INSULATION (CLOSED CELL) TO FILL VOID SPACE BETWEEN WINDOW ASSEMBLY & WALL ASSEMBLY
SHIM ASSEMBLY AS REQUIRED
WOOD FRAMING @ JAMB
EXTERIOR SHEATHING
DASHED LINE INDICATES LOCATION OF CONTINUOUS WEATHER BARRIER TO TERMINATE IN OPENING, TYP.
SELF-ADHERED FLASHING @ PERIMETER OF OPENING (SUCH AS GRACE VYCOR OR EQUAL), TYP.
PREFAB WINDOW NAILING FLANGE
1x TRIM AS SCHEDULED
CONTINUOUS BEAD OF SEALANT & BACKER ROD, BOTH SIDES, TYP.
PREFAB. WINDOW SILL - SHIM AS REQUIRED

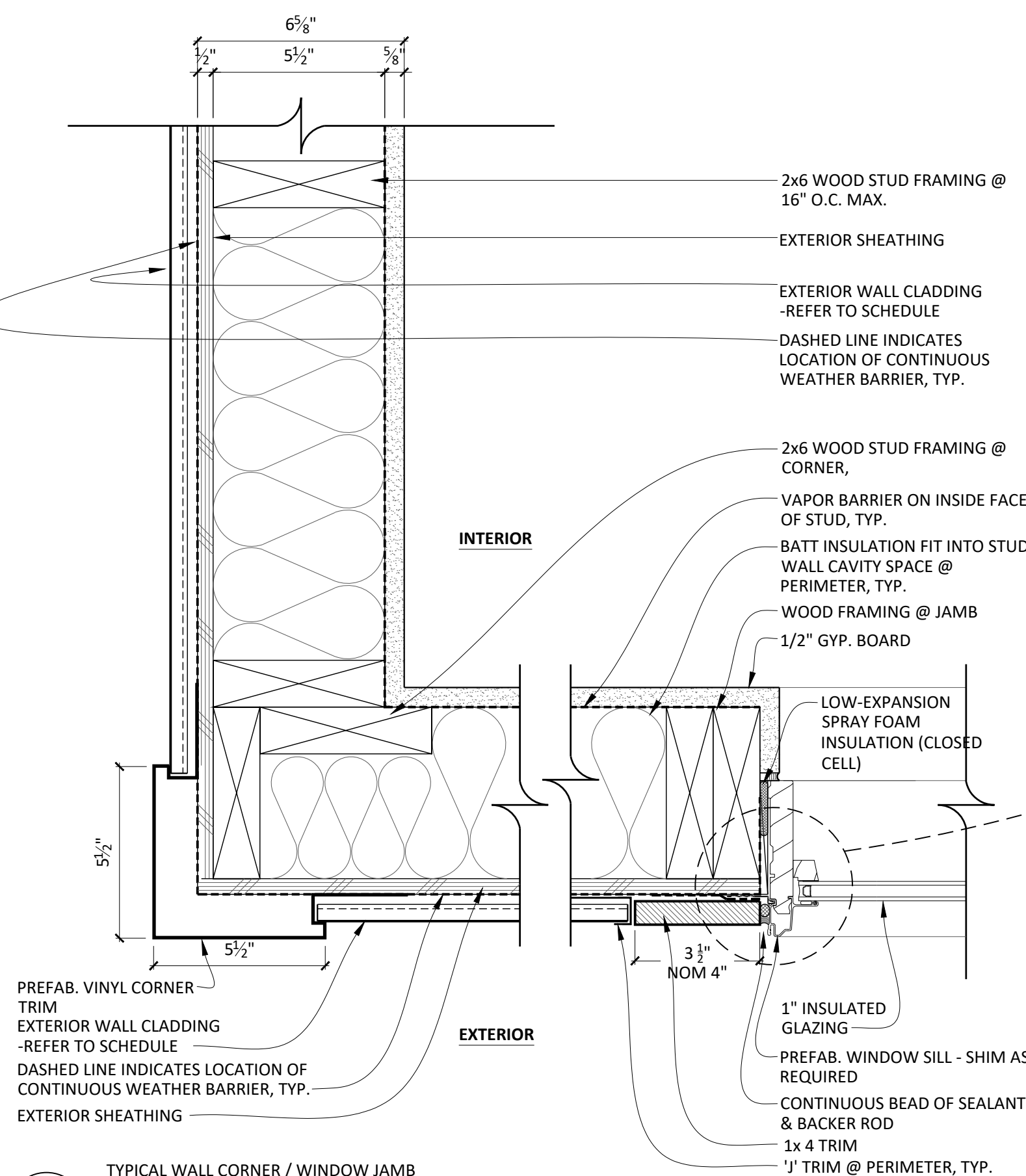
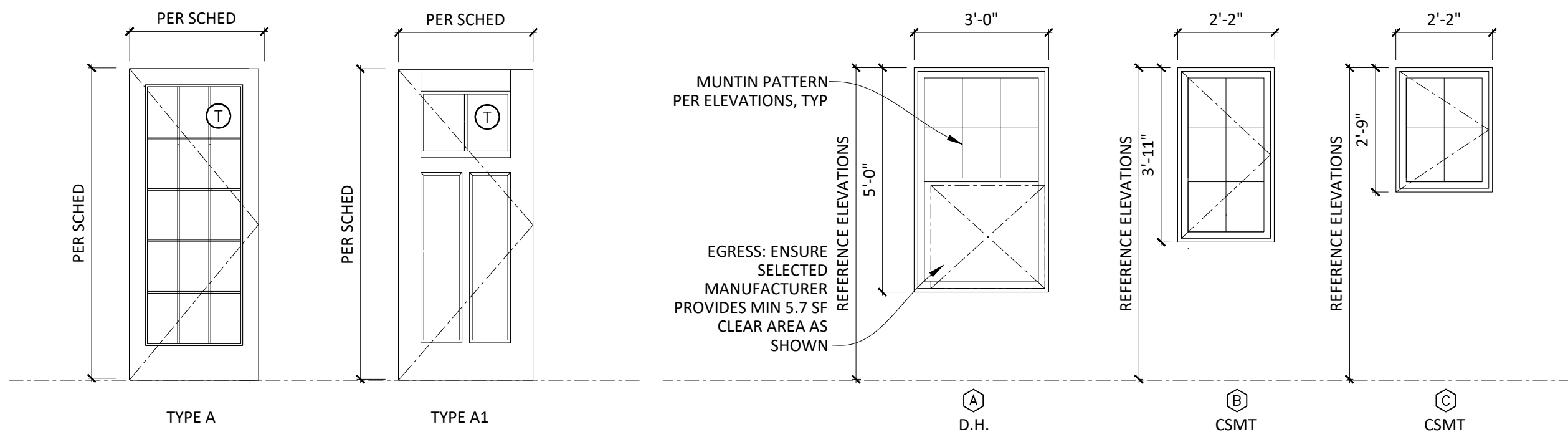
BREAK METAL PAN FLASHING W/ END DAMNS @ EACH END, TYP.
LOW-EXPANSION SPRAY FOAM INSULATION (CLOSED CELL) TO FILL VOID SPACE BETWEEN WINDOW ASSEMBLY & WALL ASSEMBLY

CONTINUOUS BEAD OF SEALANT & BACKER ROD, BOTH SIDES, TYP.
1x TRIM AS SCHEDULED
DASHED LINE INDICATES LOCATION OF CONTINUOUS WEATHER BARRIER, TYP.
EXTERIOR SHEATHING
1/2" TRIM @ PERIMETER, TYP.

TYPICAL WINDOW SILL SECTION DETAIL
SCALE: 3" = 1'-0"

2
A4-00

EXTERIOR WINDOW AND GLAZED DOORS



TYPICAL WALL CORNER / WINDOW JAMB

PLAN DETAIL
SCALE: 3" = 1'-0"

4
A4-00

SEAL:

DATE: 07-24-2025
ISSUED: 08-20-2025
Issued for Review 2
Issued for Review 1

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todt - Watkins
Prototype Aging in Place Housing
to Accommodate:
**Single Family Small Lot
Residence**

6107 Ellen Avenue
Cleveland, Ohio

TITLE:
EXTERIOR FINISH
LEGEND & TYPICAL
EXTERIOR NOTES &
DETAILS

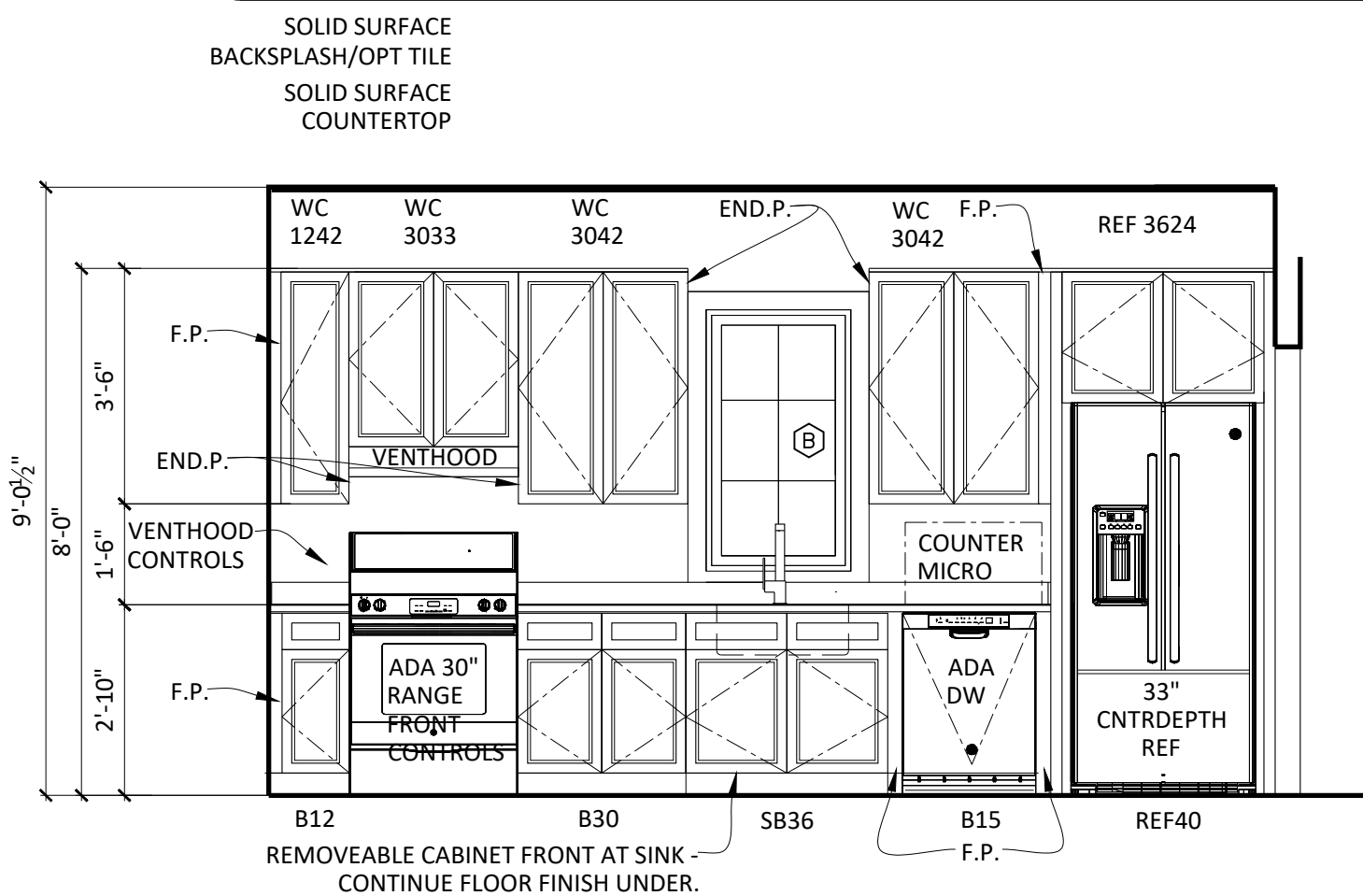
ISSUE: 08.20.2025
DATE:

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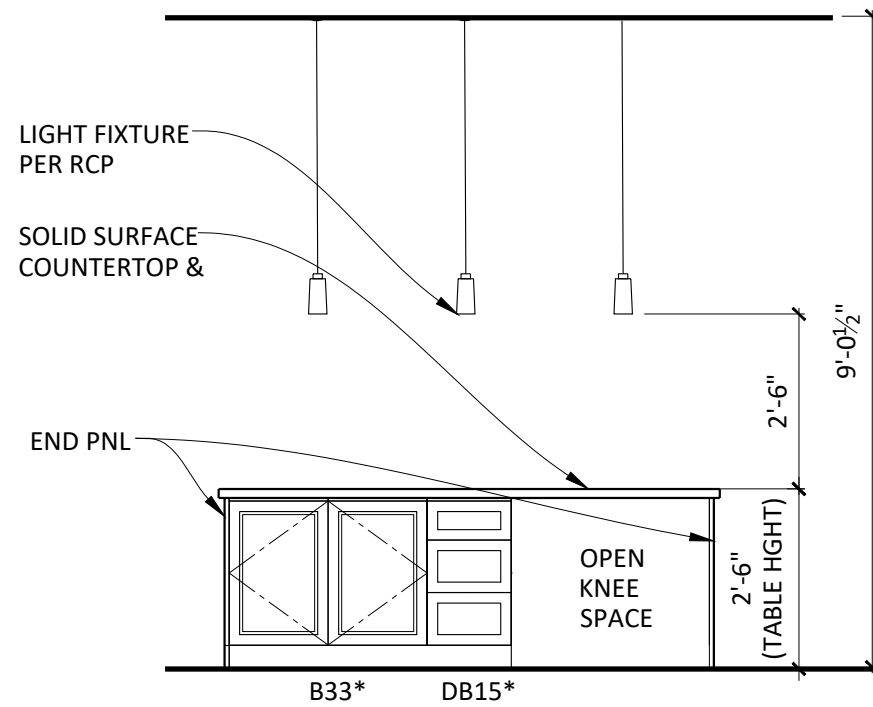
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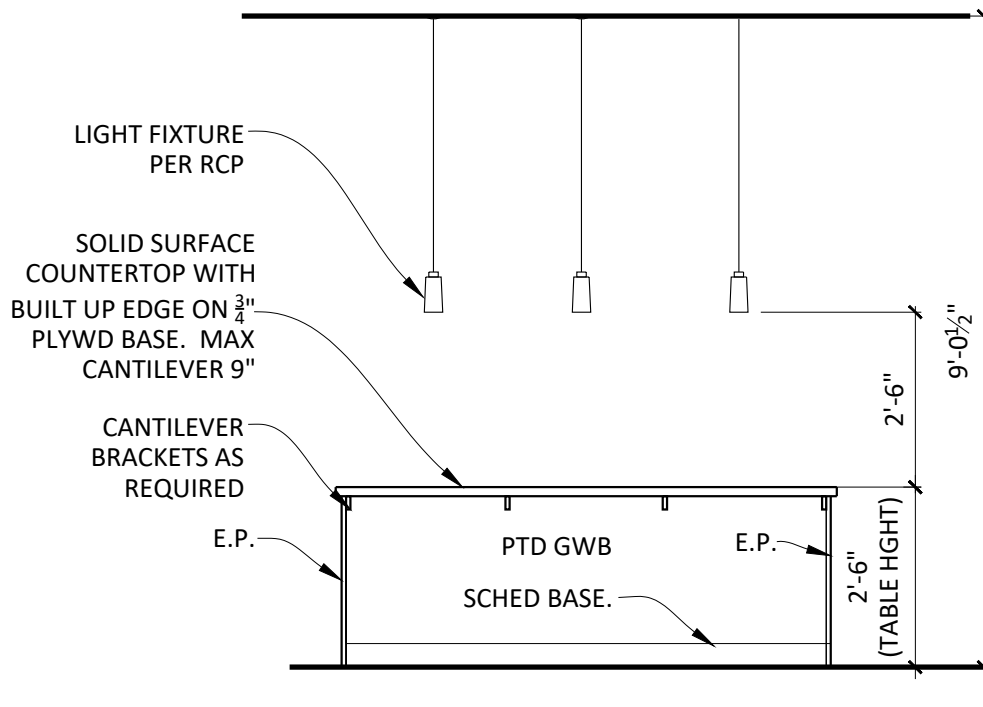
TYPICAL CABINETRY



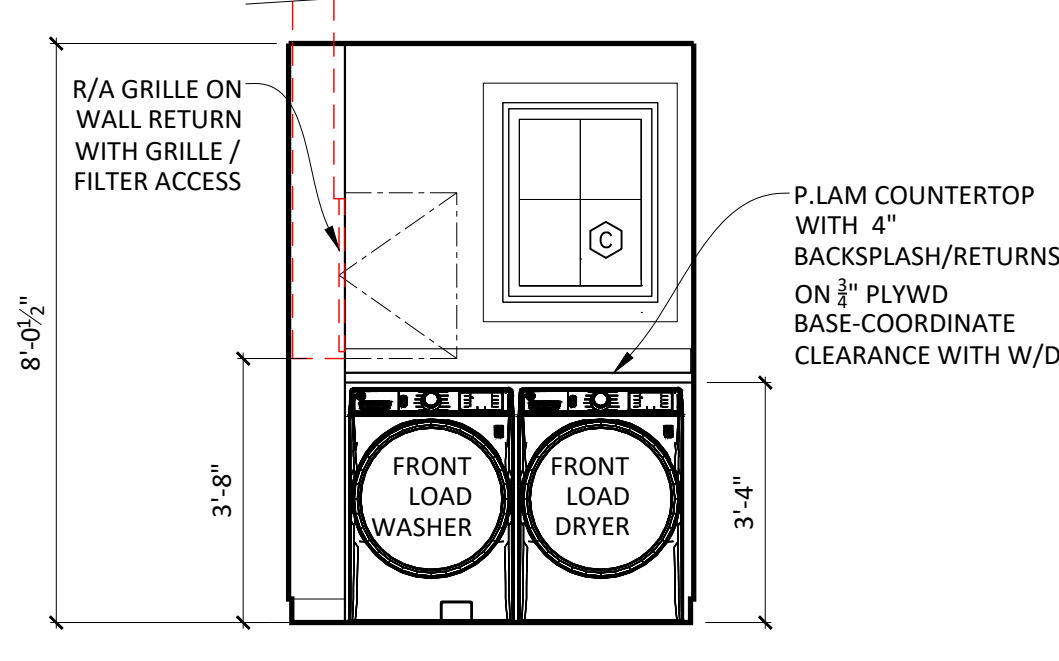
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A9-01
INTERIOR ELEVATIONS
KITCHEN
SCALE: 3/8" = 1'-0"



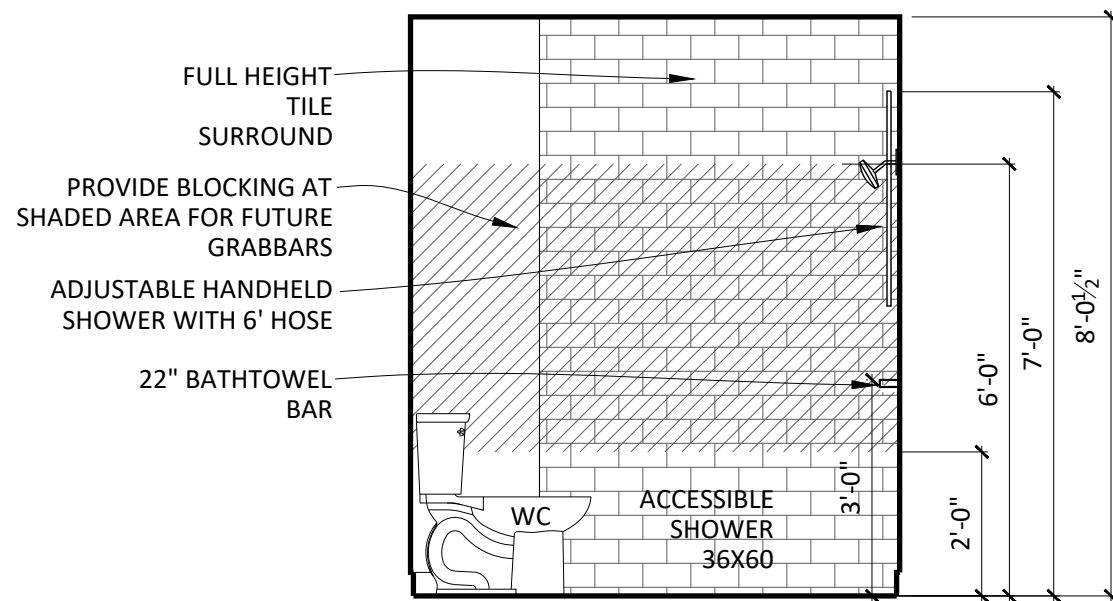
2
A9-01
INTERIOR ELEVATIONS
KITCHEN
SCALE: 3/8" = 1'-0"



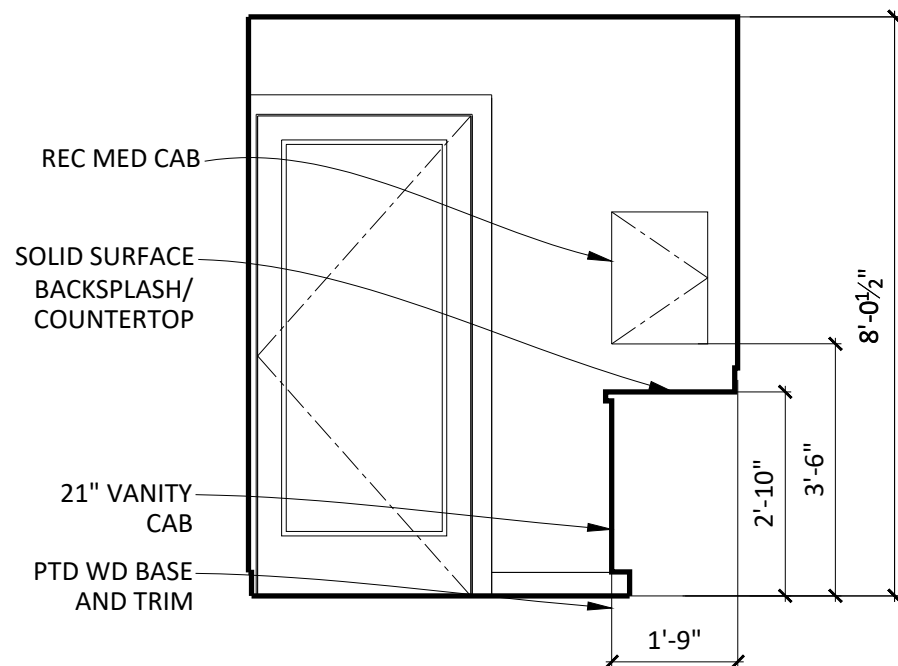
3
A9-01
INTERIOR ELEVATIONS
KITCHEN
SCALE: 3/8" = 1'-0"



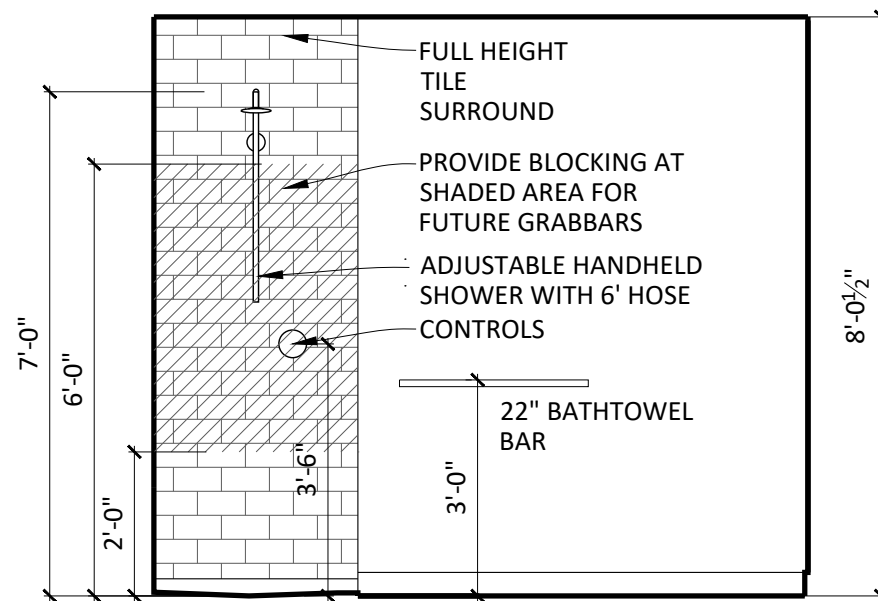
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A9-01
INTERIOR ELEVATIONS
UTILITY
SCALE: 3/8" = 1'-0"



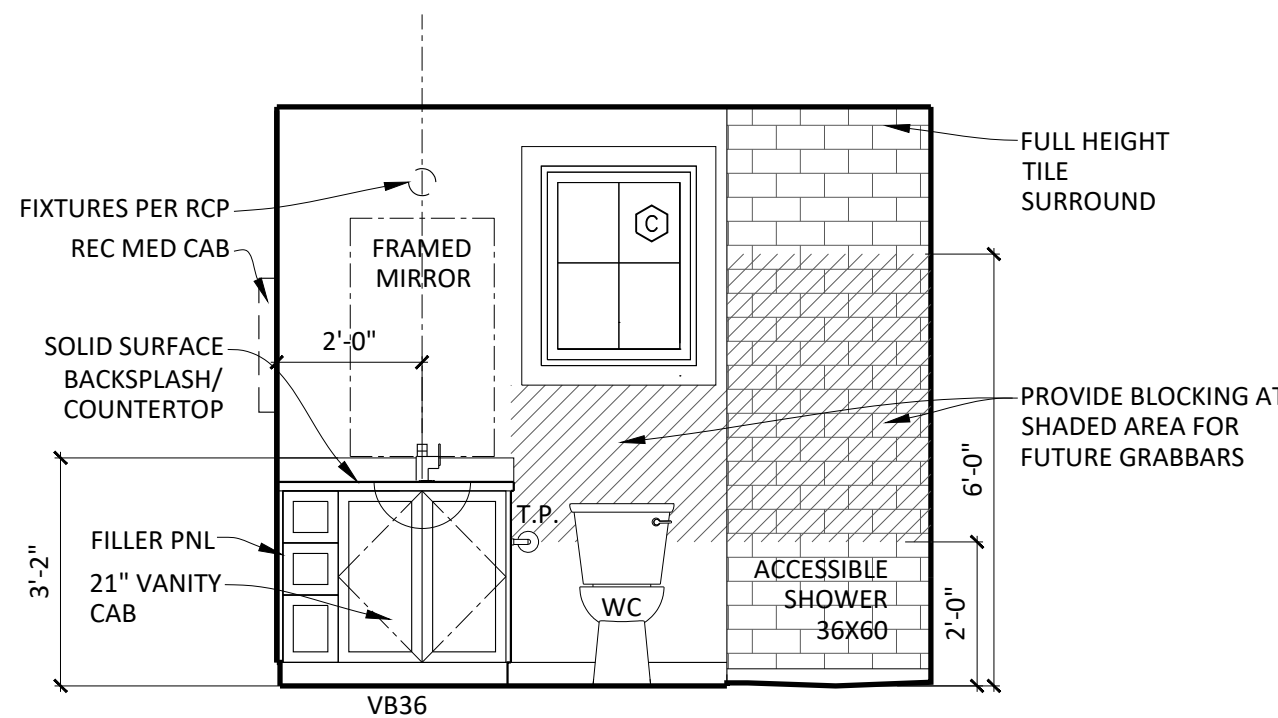
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A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



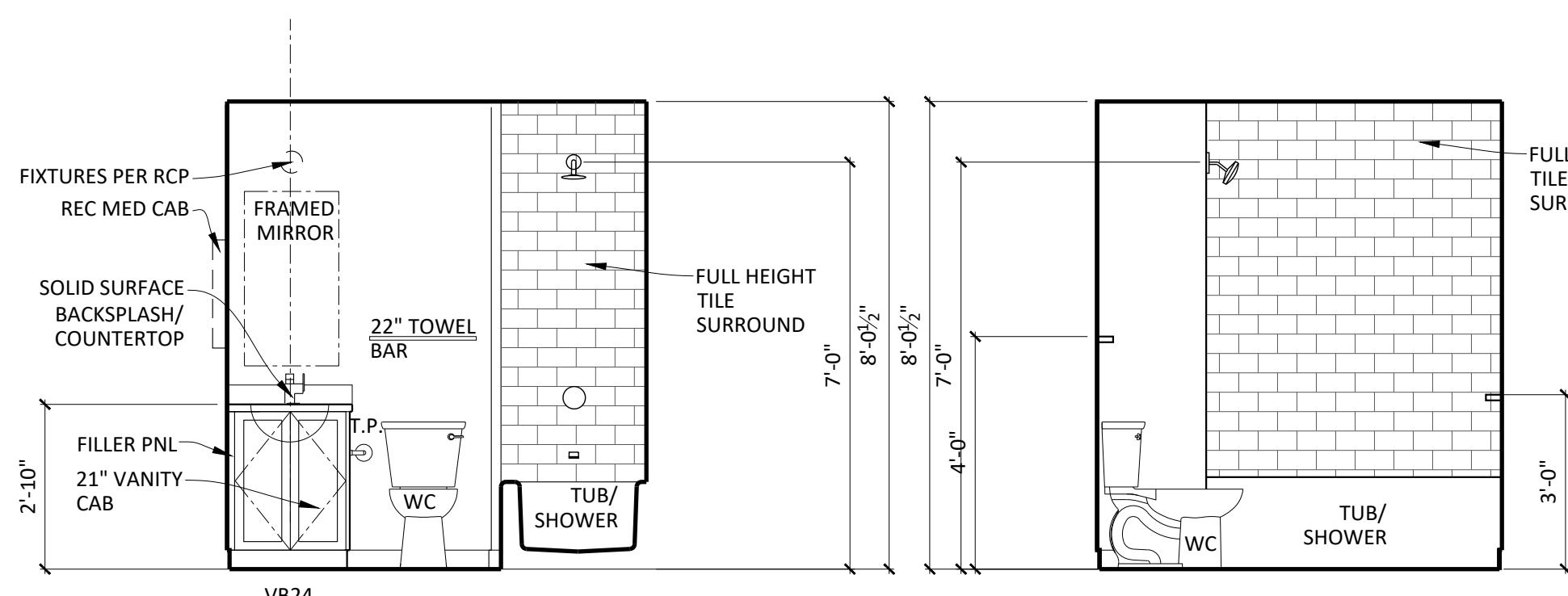
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A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



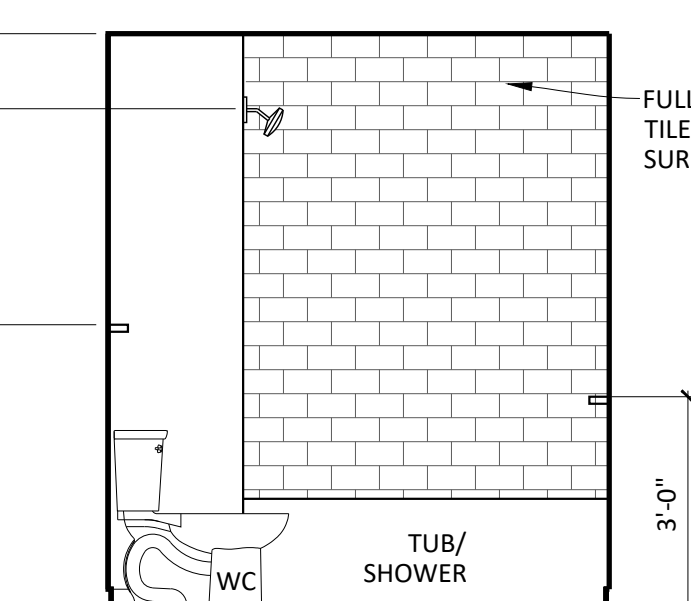
7
A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



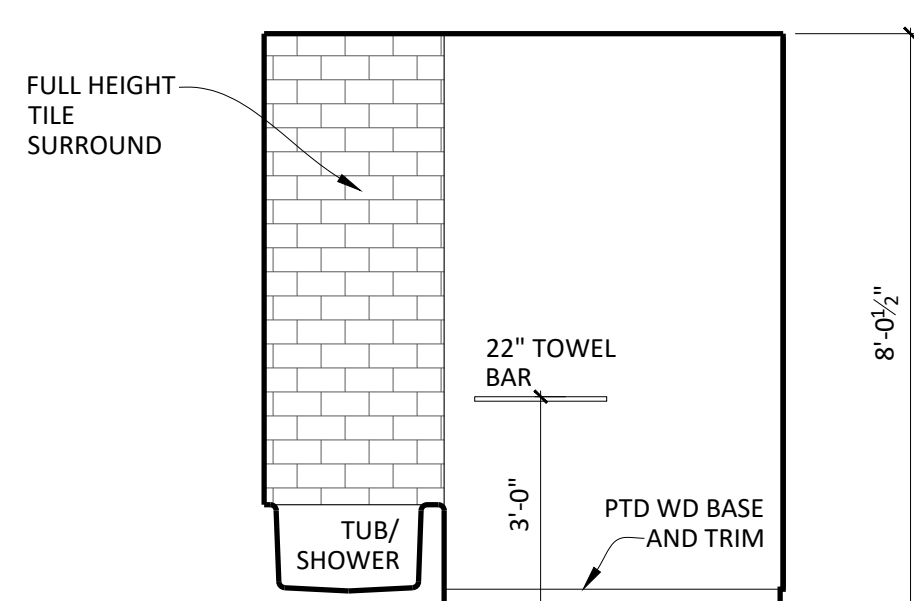
8
A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



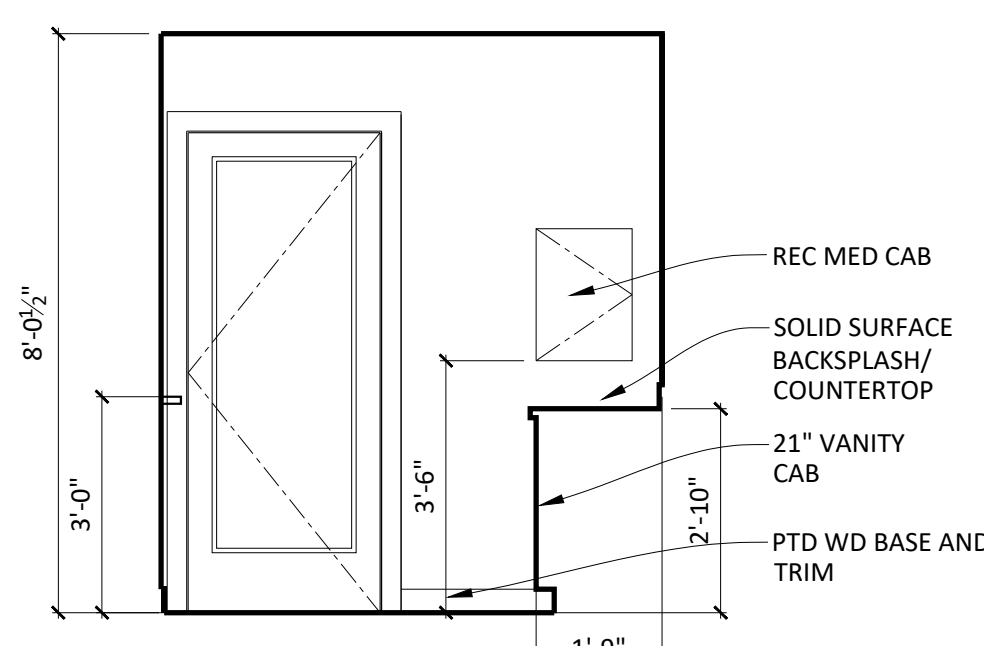
9
A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



10
A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



11
A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"



12
A9-01
INTERIOR ELEVATIONS
BATHROOM
SCALE: 3/8" = 1'-0"

GENERAL NOTES:

- PROVIDE PLYWOOD CONSTRUCTION CABINETS; NO MDF.
- ENSURE NO FORMALDEHYDE AND LOW VOC.
- HEAVY DUTY, SOFT CLOSE SLIDES
- PROVIDE MIN 1 SHELF AT ALL BASE CABINETS; 3 SHELVES AT UPPER CABINETS
- MID RANGE CAB HARDWARE

BASIS OF DESIGN:

- PROVIDE PAINTED FINISH
- RAIL AND STILE CABINET DOORS AND DRAWERS.
- SOLID SURFACE COUNTERTOPS WITH 4" BACKSPLASH (OPTIONAL FULL TILE BACKSPLASH AT KITCHEN)

SEAL:

NOT FOR CONSTRUCTION

DATE: 07-24-2025.
08-20-2025.

ISSUED: Issued for Review Issued for Review 2

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todd - Watkins
Prototype Aging in Place Housing
to Accommodate:
Single Family Small Lot
Residence

6107 Ellen Avenue
Cleveland, Ohio

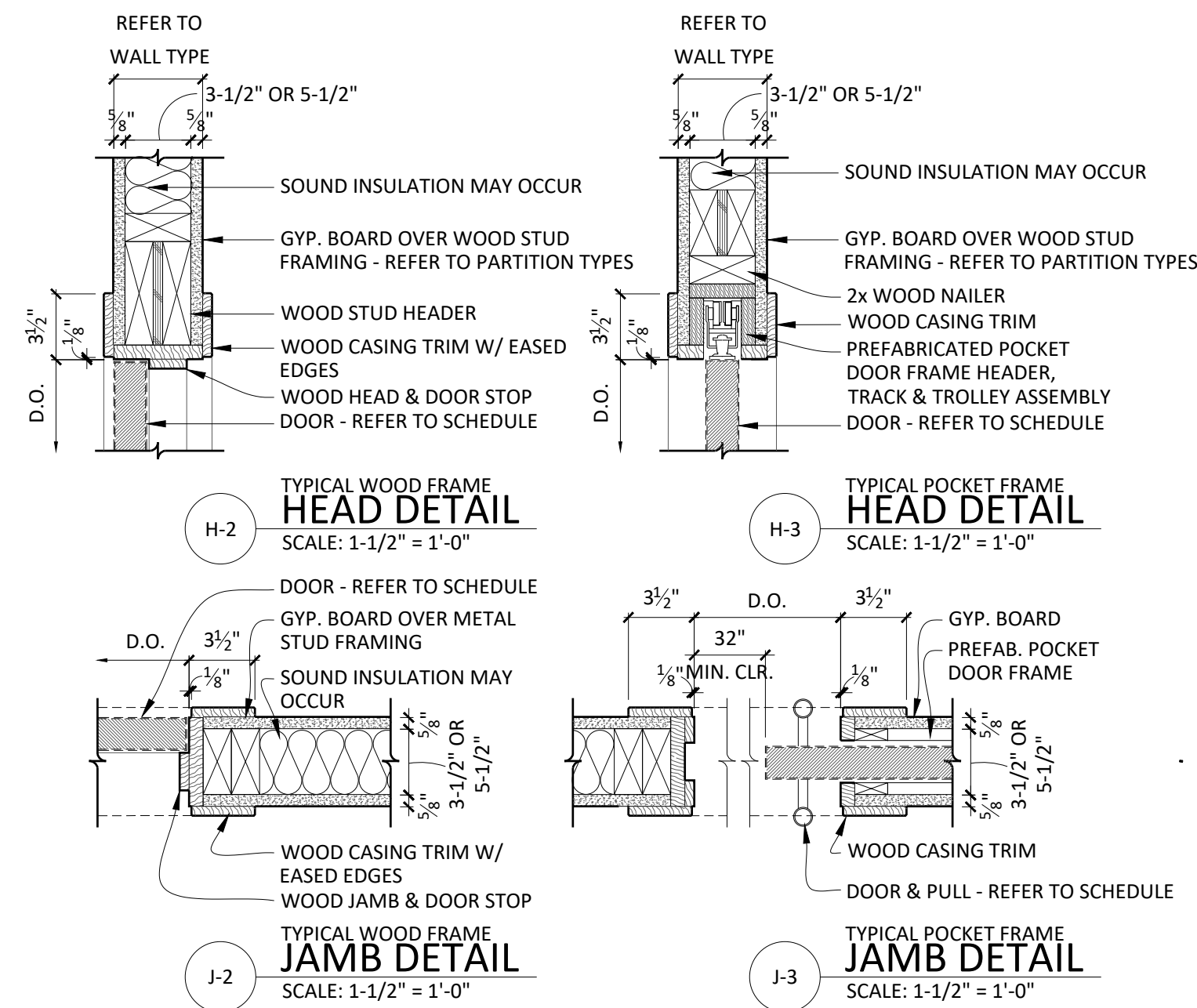
TITLE:
DOORS, WINDOWS,
AND CABINETRY

ISSUE: DATE: 08.20.2025

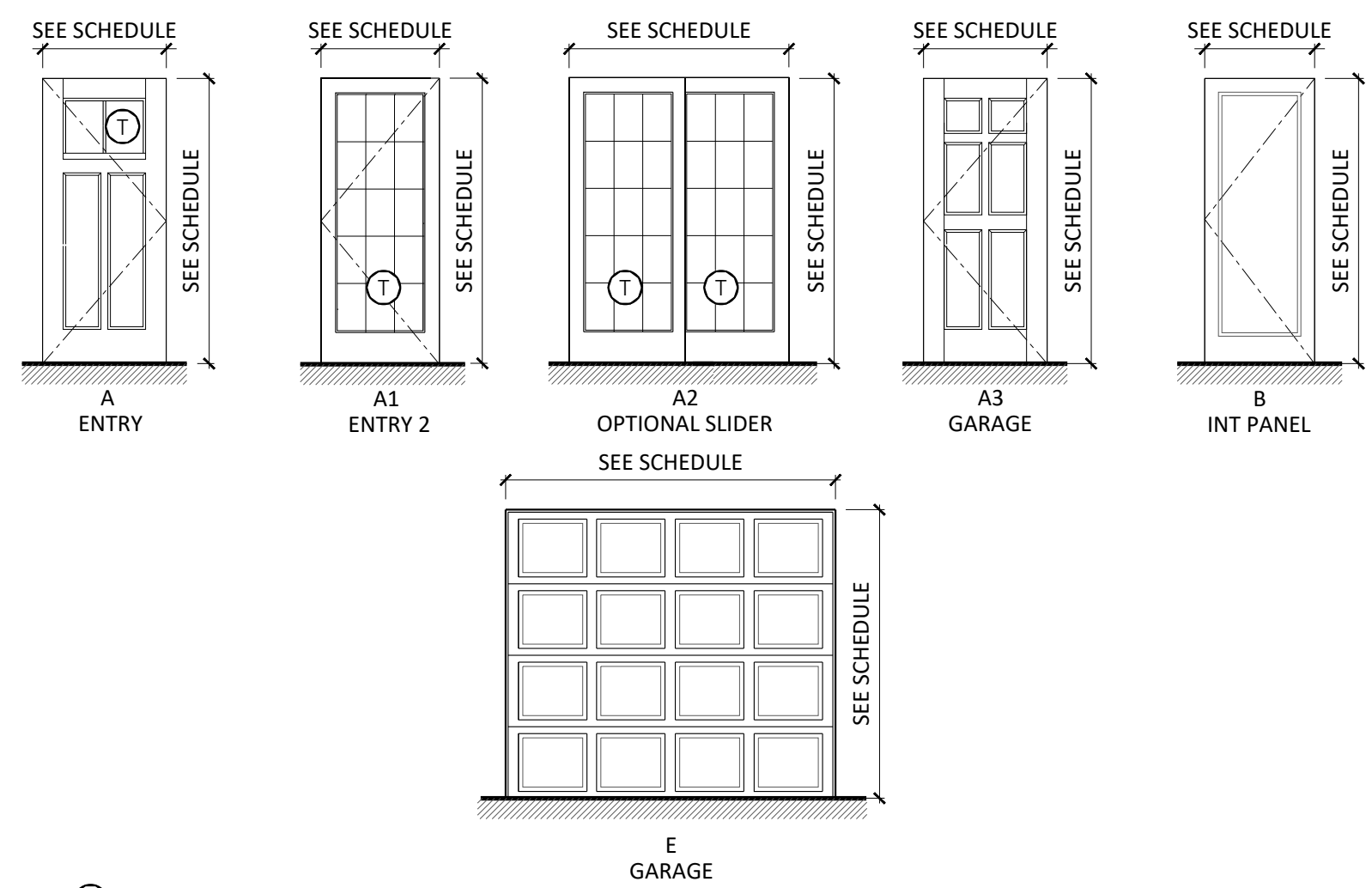
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A9-01

DOOR SCHEDULE

DOOR NO.	SHEET NO.	DOOR TYPE	DOOR OPENING		THICKNESS	DOOR MATERIAL	DOOR DETAILS			ACTION	FRAME MATERIAL	HINGE - STD. FULL MORTISE (3 MIN.	HINGE - SECURITY NON REMOVABLE PINS	OVERHEAD CLOSER	PANIC HARDWARE EXIT DEVICE	HOLD-OPEN DEVICE	HARDWARE										FIRE RATE	NOTES:
			WIDTH	HEIGHT			HEAD	JAMB	SILL								DOOR STOP (WALL MOUNTED)	DOOR STOP (FLOOR MOUNTED)	KICKPLATE	BI PASS DOOR TRACK/HARDWARE	WEATHERSEAL	POCKET HARDWARE	POCKET RECESSED PULLS	LOCKSET FUNCTION				
GROUND FLOOR LEVEL																												
101	A1-01	A	3'-0"	6'-8"	1'-3/4"	WOOD/GLASS ENTRY	H-2 SIM	H2 SIM	INC	SINGLE ACTING	WOOD - INTEGRAL SILL														KEYED ENTRANCE LEVER WITH SEPARATE, SINGLE CYL DEADBOLT	-	EGRESS DOOR COMPLIANT - REF A-400	
102	A1-01	B	3'-0"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H3	J3	-	POCKET	WOOD														PASSAGE	-	2X4 STUDWALL POCKET TRACK, ACCESSIBLE HARDWARE	
103A	A1-01	B	2'-8"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PASSAGE	-		
103B	A1-01	B	3'-0"	6'-8"	1'-3/4"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PRIVACY	-		
104	A1-01	B	3'-0"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H3	J3	-	POCKET	WOOD														PRIVACY	-	2X4 STUDWALL POCKET TRACK, ACCESSIBLE HARDWARE	
105A	A1-01	B	3'-0"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PRIVACY	-		
105B	A1-01	B	5'-0" PR 2'-7"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H-2 SIM	H2 SIM	-	BI PASS	WOOD														-	-	2X4 STUDWALL BI-PASS TRACK, ACCESSIBLE HARDWARE	
OPTION 105B	A1-01	A2	6'-0"	6'-8"	1'-3/4"	WOOD/GLASS SLIDER	H-2 SIM	H2 SIM	INC	SLIDING PATIO	WOOD														LOCKABLE- ADA	-	OWNER OPTION SLIDER DOORS FOR DOUBLE "A" WINDOWS- CONFIRM W OWNER	
106	A1-01	A	3'-0"	6'-8"	1'-3/4"	WOOD/GLASS ENTRY	H-2 SIM	H2 SIM	INC	SINGLE ACTING	WOOD - INTEGRAL SILL														KEYED ENTRANCE LEVER WITH SEPARATE, SINGLE CYL DEADBOLT	-	EGRESS DOOR COMPLIANT - REF A-400	
SECOND FLOOR LEVEL																												
200	A1-01	B	1'-6"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														DUMMY	-		
201	A1-01	B	2'-8"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PRIVACY	-		
202A	A1-01	B	2'-8"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PRIVACY	-		
202B	A1-01	B	4'-0"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H-2 SIM	H2 SIM	-	DOUBLE BI PASS	WOOD														RECESSED	-	DOUBLE BI PASS: OPENING 4'-0" CLR	
203A	A1-01	B	2'-8"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PRIVACY	-		
203B	A1-01	B	4'-0"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H-2 SIM	H2 SIM	-	DOUBLE BI PASS	WOOD														RECESSED	-	DOUBLE BI PASS: OPENING 4'-0" CLR	
202A	A1-01	B	3'-0"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	PAIR SINGLE ACTING 1'-6"	WOOD														DUMMY- BALL CATCH	-		
203	A1-01	B	2'-8"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														PRIVACY	-		
203A	A1-01	B	1'-9"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	PAIR SINGLE ACTING 1'-6"	WOOD														DUMMY- BALL CATCH	-		
204	A1-01	B	PAIR 2'-6"	6'-8"	1'-3/8"	WOOD - HOLLOW CORE	H2	J2	-	SINGLE ACTING	WOOD														DUMMY- BALL CATCH	-	MECHANICAL CLOSET - CONFIRM COMBUSTION.	
GARAGE																												
400	G1-02	E	7'-0"	8'-0"	--	STEEL	-	-	-	OVERHEAD	-														KEYED ENTRANCE LEVER WITH SEPARATE, SINGLE CYL DEADBOLT	-	ELECTRIC OPENER, PANELED	
400A	G1-02	A3	3'-0"	6'-8"	1'-3/4"	STEEL ENTRY	H-2 SIM	H2 SIM	INC	SINGLE ACTING	WOOD - INTEGRAL SILL															-	GARAGE MANDOOR	



TYPICAL DOOR TYPES



(T) DESIGNATES LOCATION OF TEMPERED GLAZING

GENERAL NOTES:

ALL DOOR LOCKSETS TO BE AL-SERIES AS MANUFACTURED BY SCHLAGE (US26D FINISH) WITH NEPTUNE LEVER DESIGN OR APPROVED EQUAL. ALL CORRESPONDING DOOR HARDWARE TO MATCH LOCKSET FINISH. (TYPICAL, UNLESS OTHERWISE NOTED).

WHERE INDICATED IN DOOR SCHEDULE, ALL WOOD DOORS TO BE PRIMED WHITE.
(FINISH COLOR TO BE DETERMINED BY OWNER)

ALL PROPOSED NEW EXTERIOR DOORS AS NOTED HEREIN ARE TO INCLUDE AN INSULATED CORE TO ACHIEVE A U-FACTOR OF 0.38 (MAX.).

SEAL:

NOT FOR CONSTRUCTION

DATE: _____

07-24-2025

08-20-2025

ISSUED:

Issued for Review

Issued for Review:

C L E V E L A N D
D R A W
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Todt - Watkins

Prototype Aging in Place Housing

Single Family Small Lot

Residence

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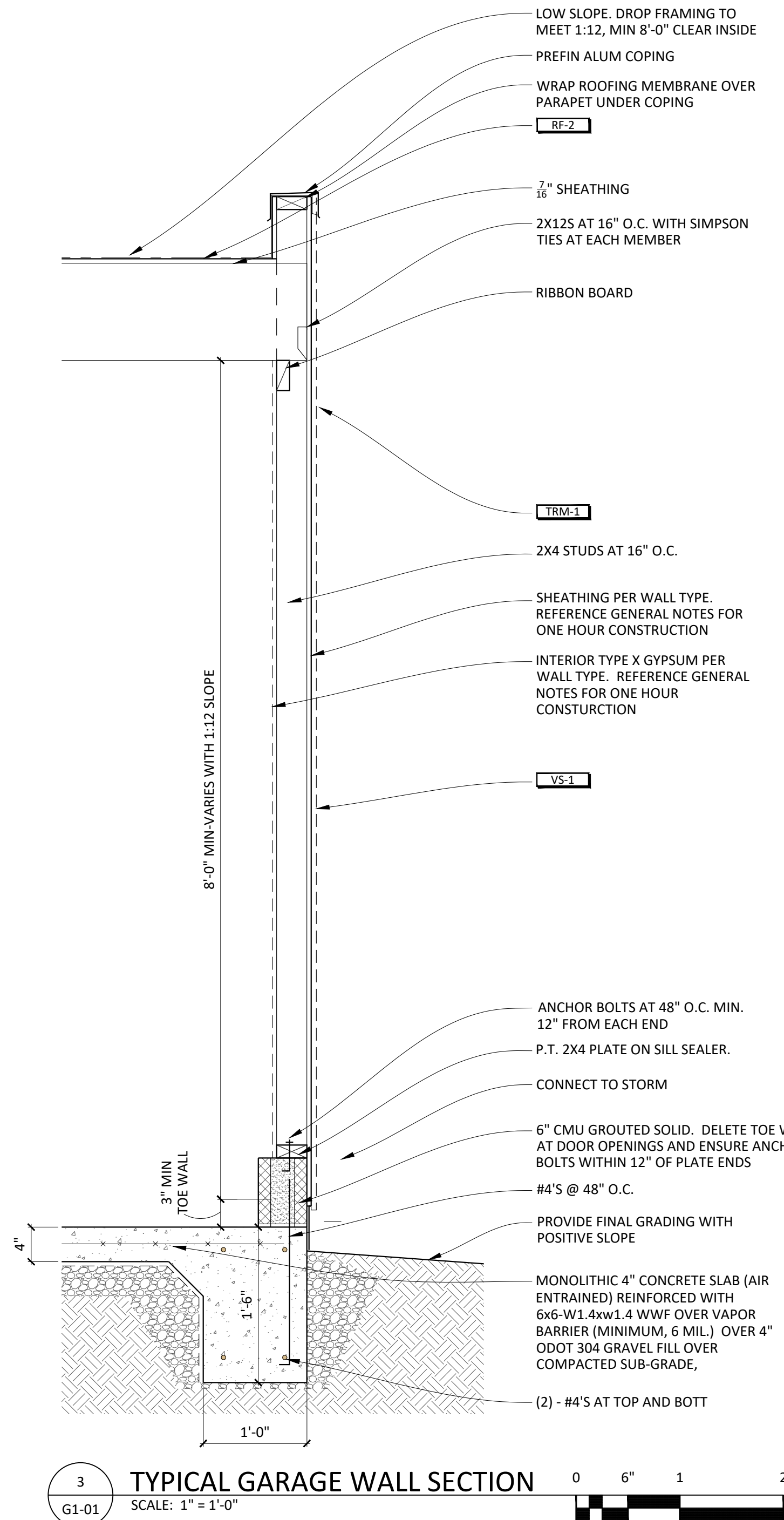
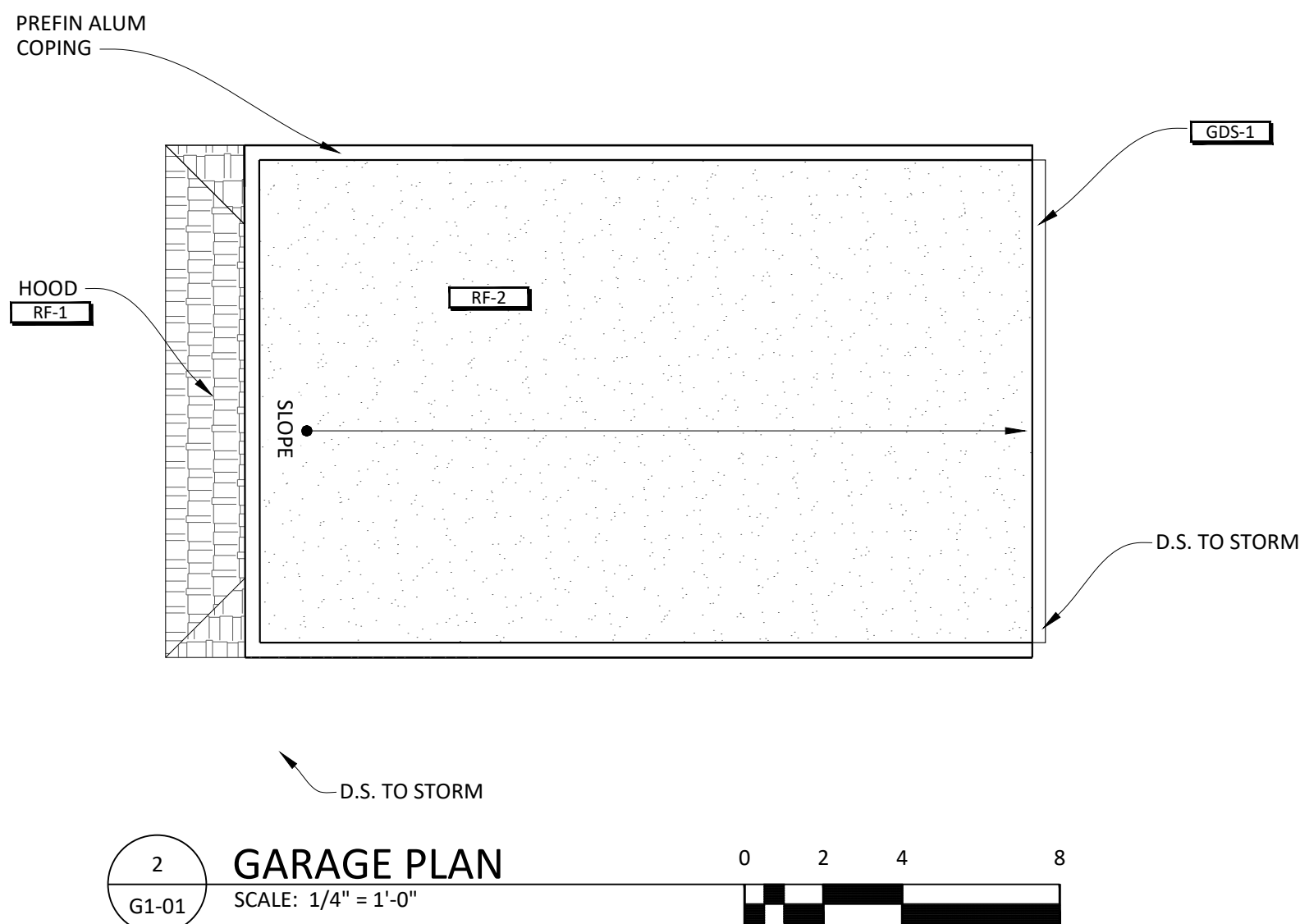
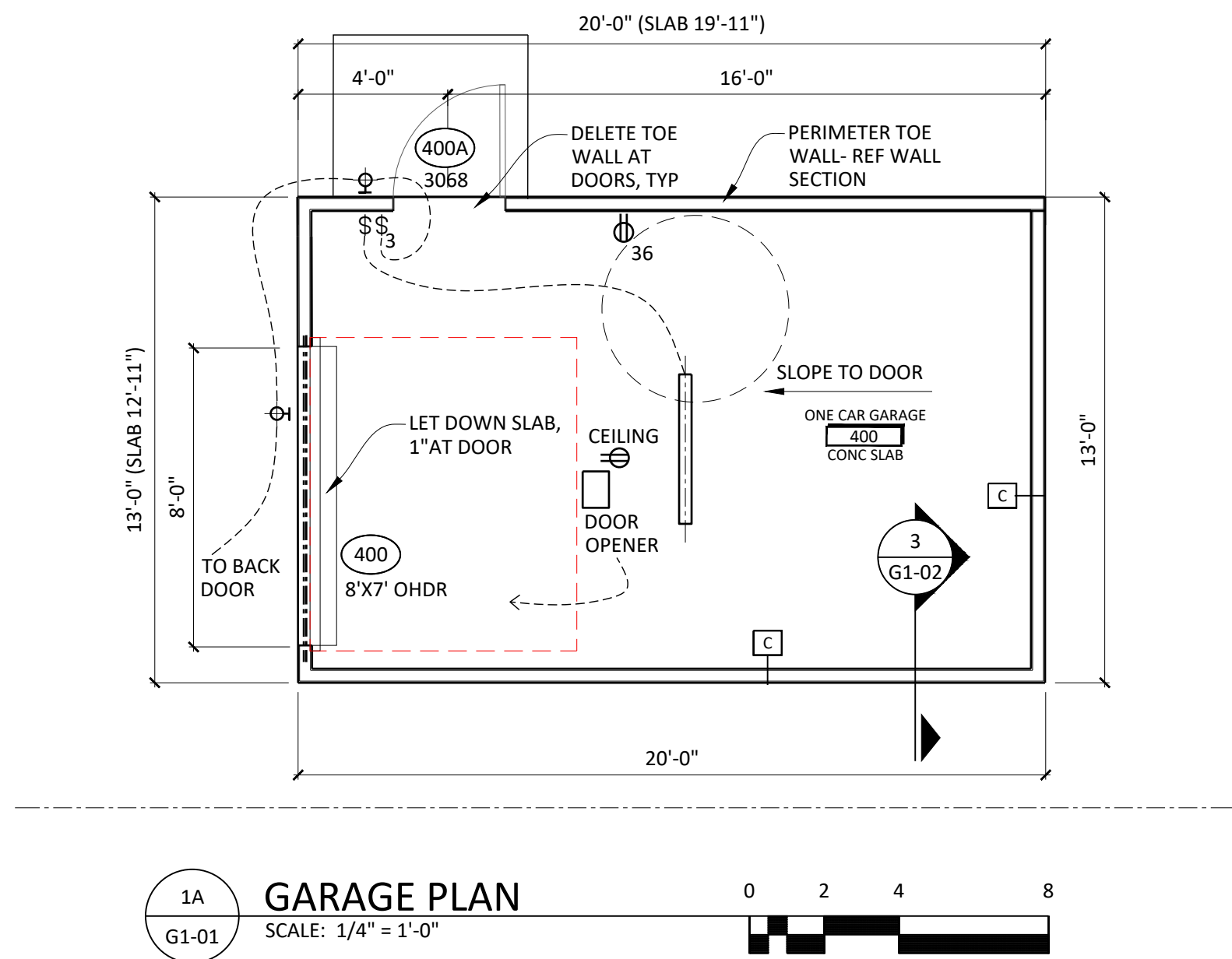
TITLE: DOOR SCHEDULE AND DETAILS

ISSUE: _____

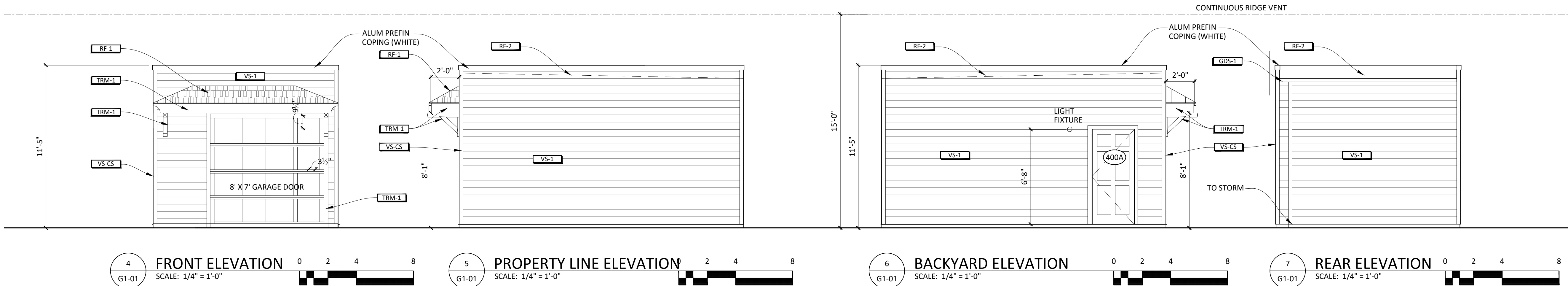
DATE: 08.20.2025

SHEET

A9-02



- CONSTRUCTION GENERAL NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING. FACE OF EXTERIOR SHEATHING LAPS FOUNDATION.
- REFERENCE SITE PLAN AND SITE DEVELOPEMNT PLAN FOR ORIENTATION AND LOCATION WITHIN SITE FOR APPLICABLE SETBACKS AND FIRE RATED WALLS
1. REGARDING TYPICAL WALL CONSTRUCTION:
- TYPICAL WALL AS NOTED
- TYPICAL WALL WITH SOUND BATT OR THERMAL INSULATION
2. REFER TO MAIN RESIDENCE DOOR SCHEDULE FOR ALL DOOR TAGS.
3. ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
4. REFER TO SHEET A4-00 FOR EXTERIOR FINISH LEGEND & ADDITIONAL INFORMATION.
- EXTERIOR FINISH LEGEND**
- RF-1 -DIMENSIONAL ASPHALT SHINGLE**
-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)
-STYLE: TBD
-COLOR: PER MATERIALS SHEET TO-01 (CHARCOAL GRAY)
-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- RF-2 -MEMBRANE ROOFING**
-TYPE.: EPDM OR TPO (OR APPROVED EQUAL)
-STYLE: SINGLE PLY 60 MIL
-COLOR: COOL ROOF RATED
-NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- VS-1 -VINYL SIDING-CLAPBOARD**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 5" CLAPBOARD.
-COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET TO-01 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-2 -VINYL SIDING-CLAPBOARD ACCENT - N/A**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 4" CLAPBOARD
-COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET TO-02 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-CS -VINYL SIDING CORNER BOARD**
-MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL)
-STYLE: 1-1/4" TRADITIONAL SUPERCORNER
-COLOR: WHITE TO MATCH TRIM
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- TRM-1 -PAINTED TRIM**
-MFR.: AZEK OR PER APPROVED SUBMITTAL
-STYLE: SMOOTH FINISH
-COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
- GDS-1 -PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: 5" OGEE GUTTER/ 2x3 DOWNSPOUT
-COLOR: PREFINISHED WHITE (PER OWNER). REFERENCE SHEET TO-01 MATERIALS.
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- CNC-1 -CONCRETE SLAB ON GRADE**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH
-COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING
-NOTE: AIR ENTRAINED AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB



SEAL:

NOT FOR CONSTRUCTION

DATE: 07-24-2025
ISSUED: 08-20-2025

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

6107 Ellen Avenue
Cleveland, Ohio

Todd - Watkins
Prototype Aging in Place Housing
to Accommodate:
Single Family Small Lot
Residence

TITLE: ONE CAR GARAGE

ISSUE: 08.20.2025

G1-01



CITY OF CLEVELAND
Mayor Justin M. Bibb

Schematic Plan Review

September 11th, 2025



Case 25-072 and Case 25-073

Schematic Plan Review

Lorain Avenue Historic District

Lorain Avenue Redevelopment 4242 Lorain Avenue

Demolition and New Construction

Project Representatives: Katie Gillette, City Architecture

Ward 3: Councilmember McCormack





Lorain Avenue Redevelopment
Design Review Package | 08.28.2025

PENNROSE
Bricks & Mortar | Heart & Soul

★ ★ ★
OHIO CITY
INCORPORATED
est 1836

 City
Architecture

DEVELOPMENT OVERVIEW AND PROGRAM

- Redevelopment of the McCafferty Health Center to provide affordable housing in Ohio City
- 1.3 acres after right-of-way dedication for Lorain Midway
- 71,500 sf - Total Building Area (4 Stories)
- 72 Unit, Senior (55+) Multi-Family Building
- (62) 1-bedroom apartments and (10) studios
- Community Room, Fitness Room, Outdoor Amenity Spaces
- +/- 3,000 sf Non-Profit Tenant
- 43 Parking Spaces for tenants, management, and non-profit tenant

DEVELOPMENT TIMELINE

- November 2024 - RFP Award
- December 17, 2024 - Community Meeting #1
- January 16, 2025 - Community Meeting #2
- February 10, 2025 - Community Meeting #3
- February 25, 2025 - OHFA Preliminary Application
- May 22, 2025 - OHFA Award
- August 25, 2025 - Community Meeting #4
- September 2025 - DRAC & Landmarks Commission
- September 2025 - OHFA Final Application
- Q4 2025 - Community Meeting #5
- Q4 2025 - DRAC & Landmarks Commission
- Q1 2026 - Plan Review & Permitting
- Q2 / Q3 2026 - Commence Construction (18 months)



LORAIN AVENUE REDEVELOPMENT | Location Map



LORAIN AVENUE REDEVELOPMENT | Site Aerial





East of Development Site



South of Development Site





West of Development Site



Southwest of Development Site



South of Lorain (West 44th Street)



West Block

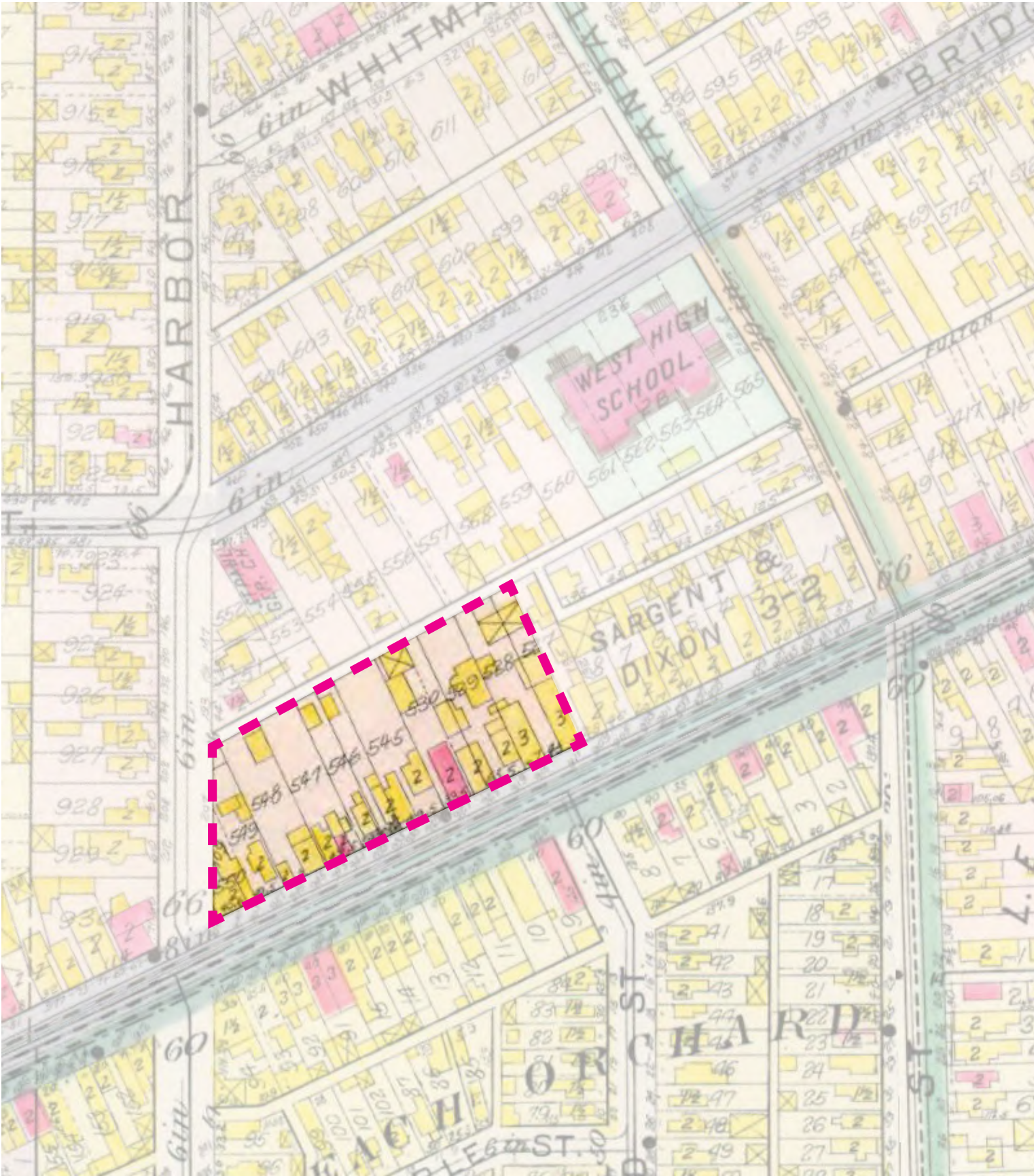


East Block



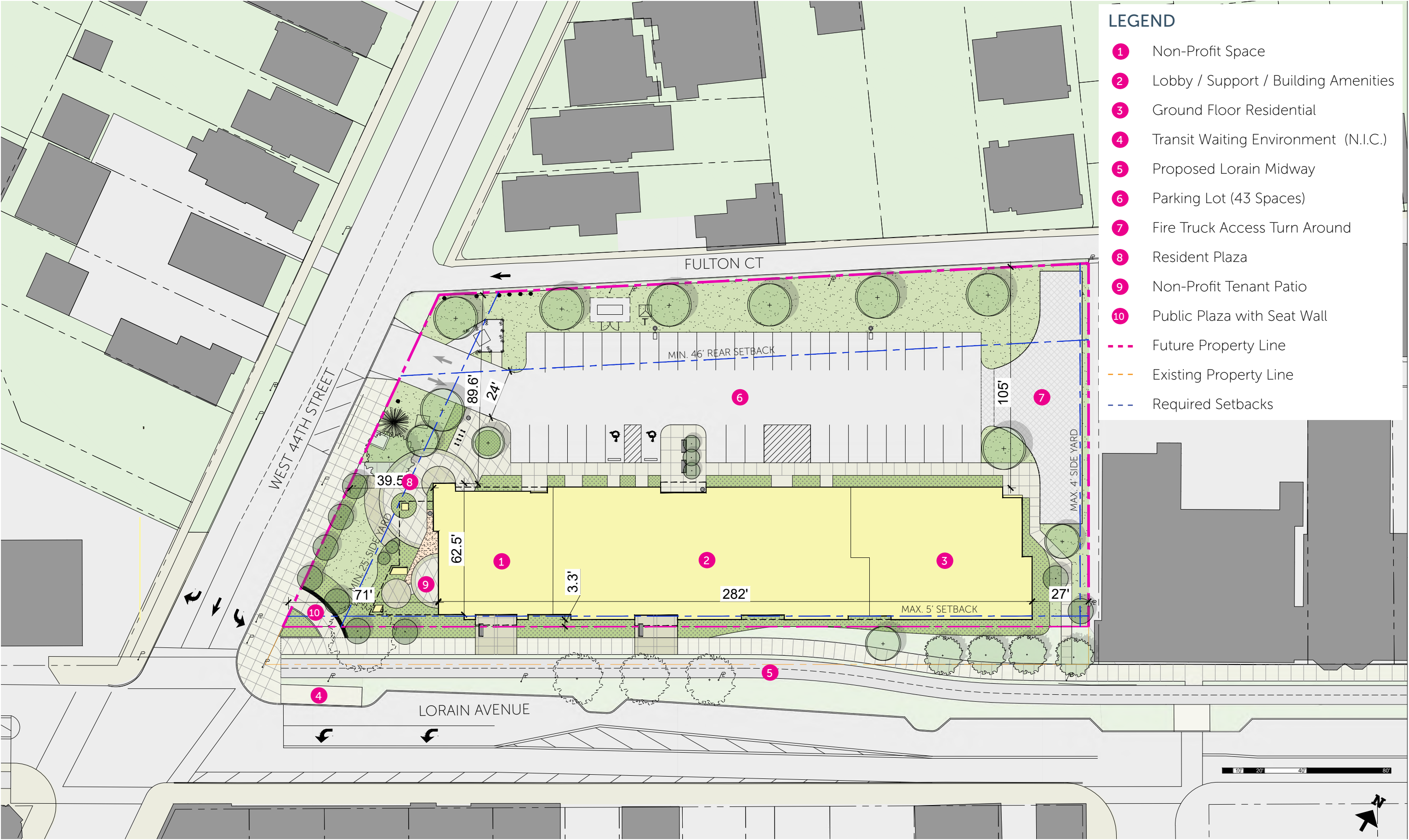
Fulton Court

1898



1927





LORAIN AVENUE REDEVELOPMENT | Site Plan



FRONTAGE STRIP TREES
Crimson Spire English Oak



FRONTAGE STRIP SHRUBS
Goldmund Spirea +
Fine Line Buckthorn



GROUNDCOVER

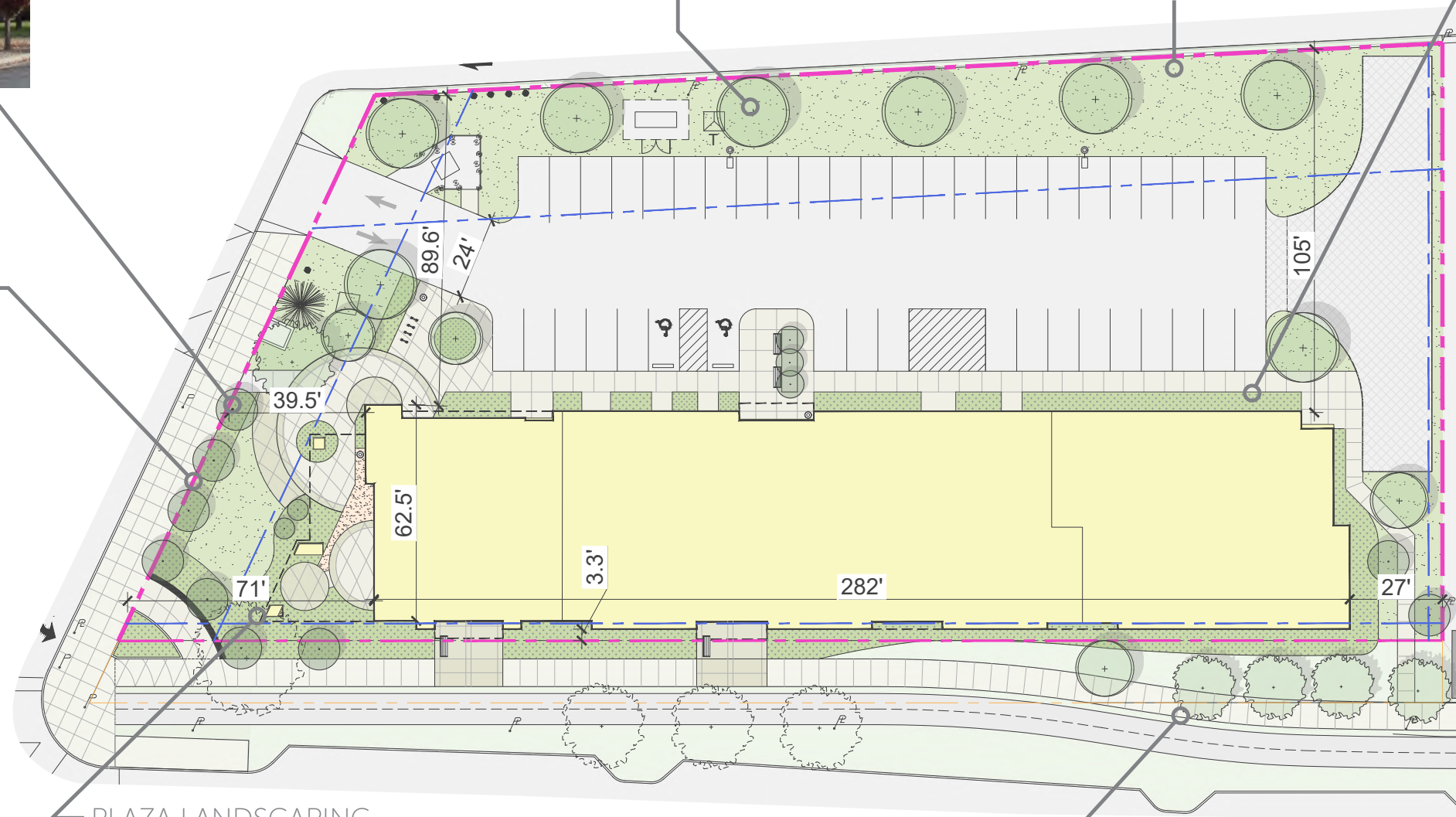


TRANSITION STRIP TREES
Northern Pin Oak



TRANSITION STRIP SHRUBS
Tall Evergreens

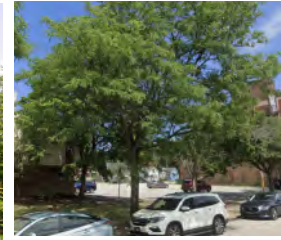
FOUNDATION LANDSCAPING
Grasses, Hardy Shrubs, and Vibrant Flowering Shrubs



PLAZA LANDSCAPING
Flowering Shrubs, Upright Grasses, and Evergreens

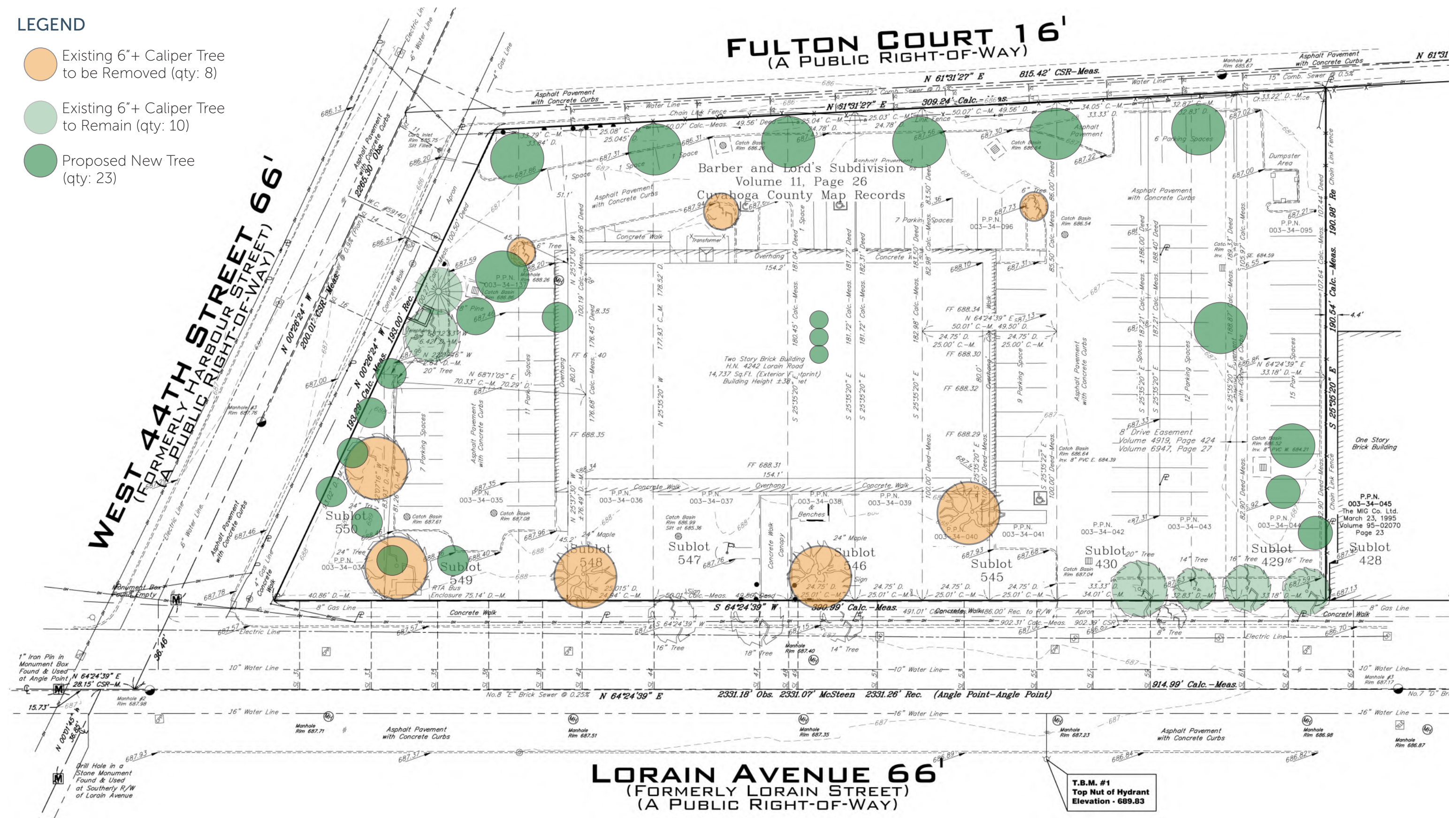


EXISTING TREES



LEGEND

- Existing 6" + Caliper Tree to be Removed (qty: 8)
- Existing 6" + Caliper Tree to Remain (qty: 10)
- Proposed New Tree (qty: 23)





6' BENCH:
Victor Stanley Lily Bench



WASTE RECEPTACLE
Victory Stanley SD-42



LED PARKING
LIGHT



EXTERIOR LED
WALL LIGHT

CONCRETE SEAT WALL



PICNIC TABLE:
Victor Stanley 6'
Camille Table and
Backless Benches

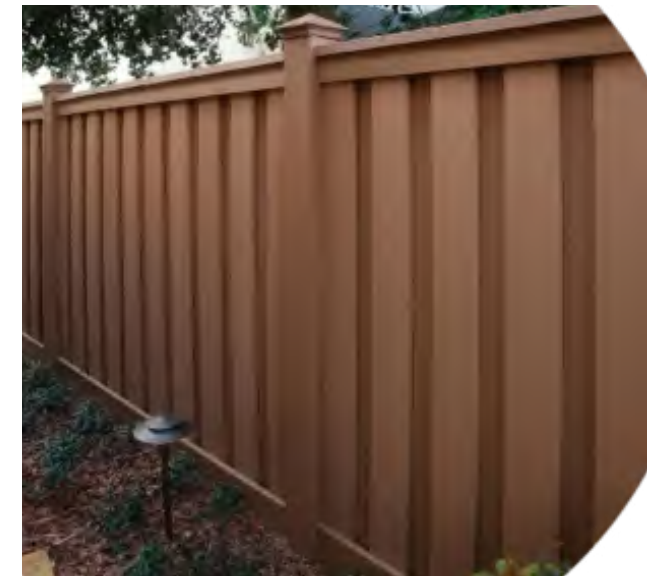


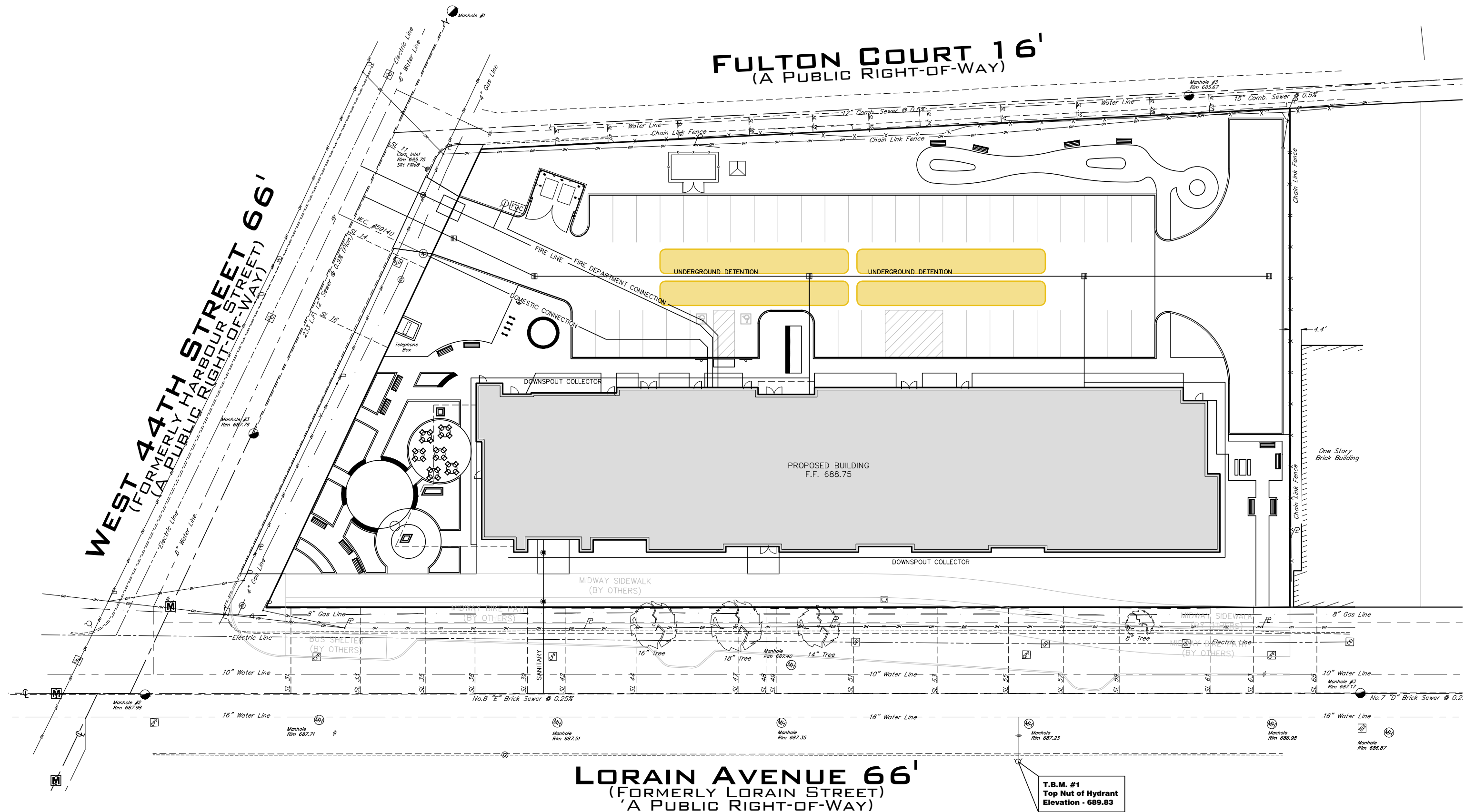
'U' BIKE RACK:
Victor Stanley
BCRS-101

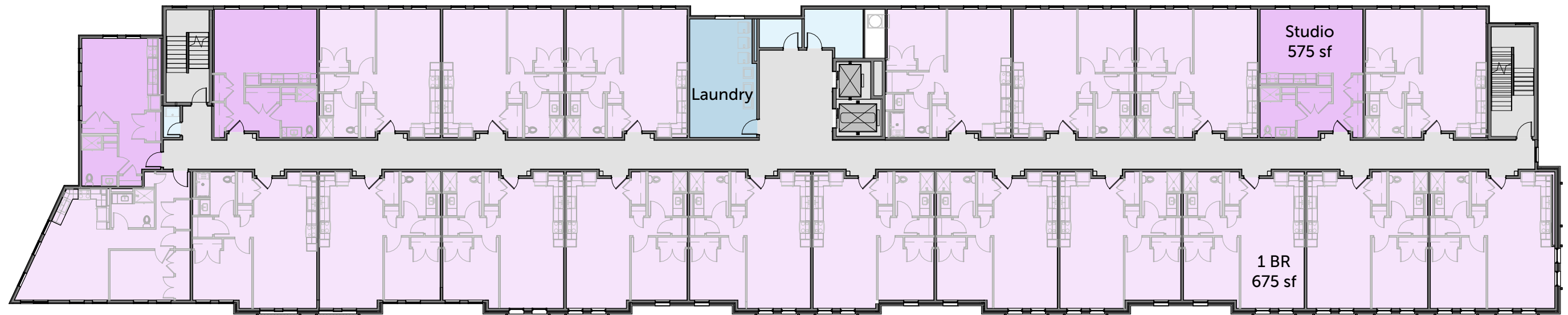


CANOPY DOWNLIGHTS
AT BUILDING ENTRIES

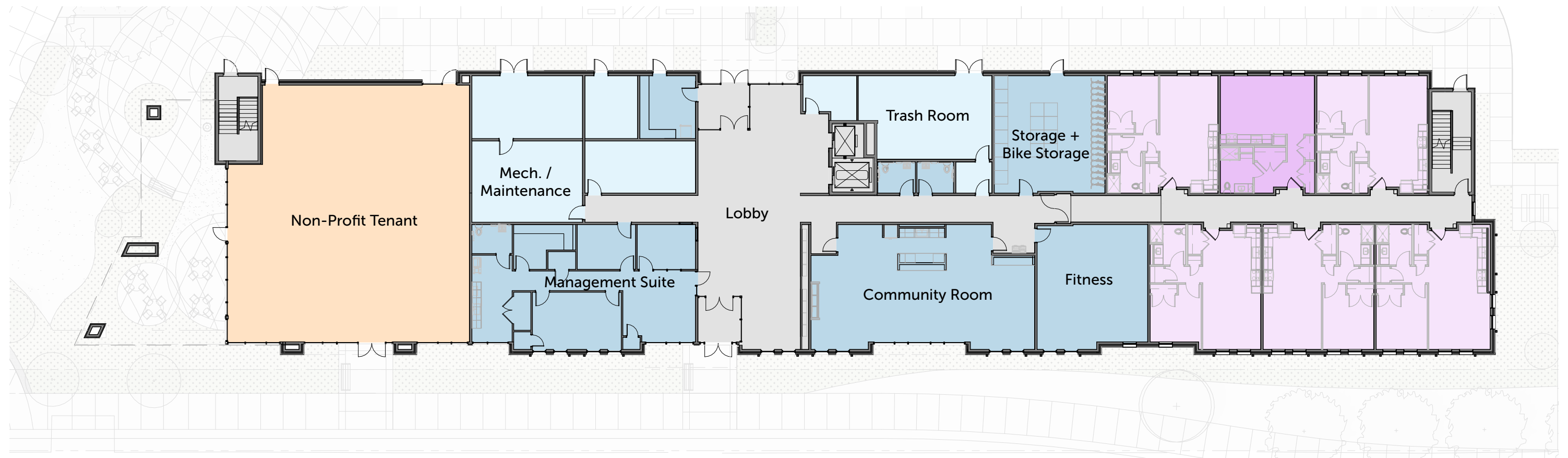
COMPOSITE TRASH ENCLOSURE:
Trex Seclusions Line







TYPICAL UPPER FLOOR PLAN



FIRST FLOOR PLAN



Metal Panel



Metal Siding



Fiber Cement Panel



Fiber Cement Panel

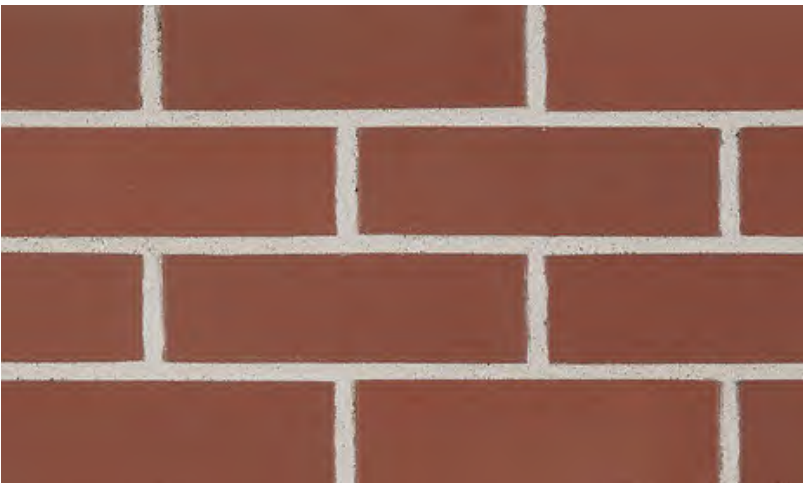
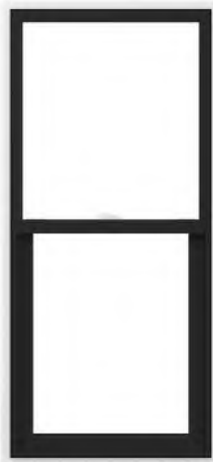


Black Windows

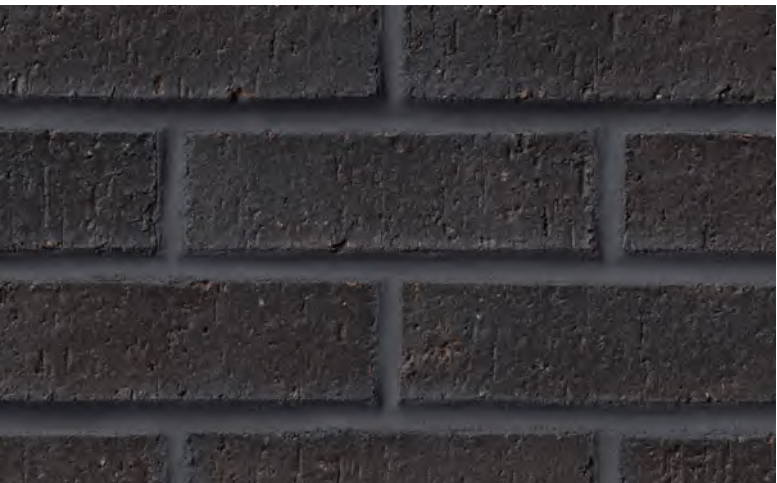
Aluminum Storefront

Steel Canopy

Face Brick



Face Brick







Lorain Avenue



West 44th Street



LORAIN AVENUE REDEVELOPMENT | Birds Eye View - Looking East on Lorain Avenue



LORAIN AVENUE REDEVELOPMENT | Pedestrian View - Looking West on Lorain Avenue



LORAIN AVENUE REDEVELOPMENT | Pedestrian View from West 44th Street



LORAIN AVENUE REDEVELOPMENT | Pedestrian View - Looking East on Lorain Avenue